



Clerk of the District

MAY 14 2021

Metropolitan Water Reclamation
District of Greater Chicago

**DIRECTOR OF ENGINEERING REPORT
ON THE
PETITION FOR VARIANCE OF THE REQUIREMENTS
OF THE WATERSHED MANAGEMENT ORDINANCE**

**WMO-VP-21-01
HOTEL MANNHEIM GROUP, ROSEMONT**

**ENGINEERING DEPARTMENT
INFRASTRUCTURE MANAGEMENT DIVISION
LOCAL SEWER SYSTEMS SECTION**

PREFACE

Article 11 of the Watershed Management Ordinance (WMO) allows an applicant to file a Petition for Variance with the Clerk of the Metropolitan Water Reclamation District of Greater Chicago (District) requesting relief from the requirements of the WMO. This Report is prepared by the Director of Engineering and includes a recommendation that the petition be granted, granted with conditions, or denied. This Report is submitted to be considered as part of a Variance Hearing.

TABLE OF CONTENTS

| | |
|---|---|
| <u>Director of Engineering Report</u> | |
| Introduction | 1 |
| WMO Permit Application 20-172 Project Summary | 1 |
| WMO Stormwater Requirements | 1 |
| Petition for Variance Submittal Timeline | 1 |
| Petition for Variance Request | 2 |
| Public Comment Period | 4 |
| Director of Engineering Recommendation | 5 |

APPENDICES

| | |
|-------------|--|
| Appendix A: | Petition for Variance, Received January 21, 2021 |
| Appendix B: | Notice of Procedural Deficiency, Served March 15, 2021 |
| Appendix C: | Petition for Variance Resubmittal, Received March 29, 2021 |
| Appendix D: | Village of Rosemont Engineer Email Dated January 20, 2021 |
| Appendix E: | Petition for Variance Fee Payment |
| Appendix F: | No Public Comments Received Email Dated May 5, 2021 |
| Appendix G: | WMO Permit Application 20-172 |
| Appendix H: | WMO Permit Application 20-172 Plan Set |
| Appendix I: | WMO Permit Application 20-172 Stormwater Report |

Introduction

The Director of Engineering reviewed the Petition for Variance, WMO-VP-21-01, in accordance with Article 11 of the Watershed Management Ordinance (WMO) and the Procedural Rules Applicable to Administrative Proceedings under the WMO. The petition for variance is related to a proposed hotel redevelopment project under WMO Permit Application 20-172. The petitioner, Hotel Mannheim Group, is requesting a variance from the WMO stormwater management requirements that apply to the project. As required §1105.4 of the WMO, the Director of Engineer's report with recommendation is outlined below.

WMO Permit Application 20-172 Project Summary

The subject project is located within the Village of Rosemont. It includes the demolition of two (2) existing buildings, pool and patio area; reconfiguration of the parking lot with associated storm sewer improvements; and two (2) new porte-cochere entryways for the hotel. The project area is approximately 2 acres and includes 1.81 acres of impervious area of which 0.32 acres is new additional impervious area. The property holdings is approximately 8.38 acres. The project is not located within a floodplain, wetland, or riparian environment. The permit application, plan set, and stormwater report are included in Appendix G, H, and I.

WMO Stormwater Requirements

The project is required to comply with the stormwater management requirements of Article 5 of the WMO, including runoff, volume control, and detention. The runoff and volume control requirements apply because this is a non-residential project occurring on property holdings larger than 0.5 acres. The detention requirements apply because this project's development area is greater than 0.5 acres and is occurring on property holdings larger than 3 acres. These stormwater management requirements are in place and apply to qualifying projects within Cook County for the following purposes:

- Protecting the public health, safety and welfare, and reducing the potential loss of property due to flood damage;
- Managing and mitigating the effects of urbanization on stormwater drainage;
- Protecting existing and new development by minimizing the increase of stormwater runoff;
- Reducing or mitigating the environmentally detrimental effects of existing and future runoff in order to improve and maintain water quality;
- Requiring appropriate and adequate provisions for site runoff control;
- Encouraging control of stormwater quantity and quality at the most site-specific or local level;
- Establishing uniform and minimum stormwater management regulations while recognizing and coordinating with stormwater programs effectively operating within Cook County;

Petition for Variance Submittal Timeline

The petition for variance was originally received by the Clerk of the District on January 21, 2021, and is included in Appendix A. After review by staff, the Law Department served a Notice of Procedural Deficiency, included in Appendix B, to the petitioner on March 15, 2021, detailing the deficiencies of the petition submittal requirements detailed in §1101 of the WMO. The petitioner resubmitted the petition for variance addressing the deficiencies which was received by the Clerk of the District on March 29, 2021, and is included in Appendix C.

Petition for Variance Request

The petition is requesting a variance from the “0.50-acre trigger of drainage because the disruption in this case is a reduction in use and thus not necessary for applied purposes of requiring such additional drainage.” Although the petition does not indicate which specific provision(s) of the WMO from which a variance is being sought, it appears that the specific provisions include §502.1.C (runoff), §503.1.C (volume control), and §504.1.C (detention), since the permit application submittal does not propose any stormwater management facilities to comply with the aforementioned provisions. The “reduction of use” claim in the petition is not a criterion under the WMO to determine the applicability of the stormwater management requirements. This project is increasing the impervious area on the site by 0.32 acres. The WMO stormwater management requirements do not apply to solely demolition projects; however, they do apply to redevelopment undertaken in conjunction with demolition, which is proposed under this project.

The petition includes two (2) letters. The first letter, dated February 14, 2020, is on Village letterhead and is signed by the Mayor. This signed letter complies with §1101.3.B of the WMO requiring the Village to certify that the project complies with the local National Flood Insurance Program (NFIP) ordinance and that they do not object to the variance request. However, it should be noted that the Village conditions its support of the variance if the District “deems it appropriate to grant a variance with respect to the drainage requirements of the WMO.” The second letter is purportedly from the Village and is undated, unsigned, and not on Village letterhead. This letter indicates that the Village has no objection to the proposed variance because it meets the requirements of §501.1A-C. A January 20, 2021 email, included in Appendix D, from the Village’s engineer, Daniel Lynch, P.E., Christopher B. Burke Engineering, Ltd., indicates that the letter “which is not on Village letterhead nor signed by the Village, was not prepared by the Village.” Since this letter was not prepared nor endorsed by the Village, this report does not give it credence toward making a recommendation. However, if it were considered the same recommendation would be reached.

Article 11 of the WMO includes standards that must be considered for the recommendation of the Director of Engineering to (1) grant, (2) grant with conditions, or (3) deny the variance. Specifically, the petition must demonstrate all of the conditions indicated in §1103.1, and the District shall not grant a variance as indicated in §1103.2 and §1103.3. These provisions are reproduced below in *italics* with responses on whether the petition demonstrated compliance with the specific provision.

§1103.1: The District may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the project meets the requirements as specified in §501.1.A-C of this Ordinance and the petition demonstrates all of the following conditions:

The petition includes the exact statement as this provision. The petition failed to demonstrate, through calculations, reasoning, and/or documentation, that the project complies with §501.1.A-C.

§1103.1.A: Granting the variance neither alters the essential character of the area involved nor alters existing stream uses;

The petition includes the exact statement as this provision. The petition failed to demonstrate how granting the variance will not alter the essential character of the area involved nor alter existing stream uses.

§1103.1.B: Failure to grant the variance would create an unreasonable hardship on the applicant; economic hardship alone shall not constitute unreasonable hardship;

One part of the petition includes the exact statement as this provision. Another part of the petition indicates that the characteristics of the development that prevent it from complying with the WMO is “interior renovation of the hotel with limited budget.” The petition failed to demonstrate how an unreasonable hardship would be created if the variance were not granted and appears to only consider an economic hardship.

§1103.1.C: The variance to be granted is the minimum necessary and there are no other means by which the alleged hardship can be avoided or remedied to a degree sufficient to permit the reasonable continuation of the project;

One part of the petition includes the exact statement as this provision. Another part of the petition appears to indicate that the minimum area threshold for stormwater management compliance be raised from 0.50 acres to 2 acres. The petition failed to offer any other design alternatives to comply with the stormwater management requirements and appears to simply request the area threshold be raised such that the project does not need to comply with the stormwater management requirements.

§1103.1.D: The applicant’s circumstances are unique, not self-imposed, and do not represent a general condition or problem;

The petition includes the exact statement as this provision. The petition failed to demonstrate that the circumstances are unique, not self-imposed, and do not represent a general condition or problem.

§1103.1.E: The project is unique when compared to other projects that have met the provisions of this Ordinance;

The petition includes the exact statement as this provision. The petition failed to demonstrate the uniqueness of the project.

§1103.1.F: A development proposed within a flood protection area is unable to be constructed outside the flood protection area; and

The petition includes the exact statement as this provision. The petition failed to demonstrate this provision. However, it should be noted that this provision is not applicable since the project is not located within a flood protection area.

§1103.1.G: Granting the variance shall not result in any of the following:

- (1) Increase in the regulatory floodplain elevation, unless a CLOMR is issued by FEMA;*
- (2) Additional threats to public safety;*
- (3) Extraordinary public expense;*
- (4) Nuisances, fraud, or victimization of the public; or*
- (5) Conflict with existing laws or ordinances.*

The petition included the exact statement as the provision above. The petition failed to demonstrate how granting the variance will not result in Items 1 through 5 listed above.

§1103.2: The District shall not grant variances for any project that is within a regulatory floodway, Corps Jurisdictional Wetland, or Jurisdictional Waters of the U.S. unless such variance meets or exceeds federal and/or state required minimum standards for development in such areas. The applicant shall be responsible for obtaining all applicable federal and/or state permits before any such variance is granted.

The project is not located within a regulatory floodway, Corps Jurisdictional Wetland, or Jurisdictional Waters of the U.S.

§1103.3: The District shall not grant variances that would violate the minimum standards for floodplain management established by the OWR and the requirements of FEMA for participation in the NFIP.

The project is not located within a floodplain.

Public Comment Period

Consistent with §1102.7 of the WMO, the District posted the original petition for variance on its website on January 25, 2021. The Notice of Procedural Deficiency was posted on March 15, 2021. The petition for variance resubmittal was posted on the website on April 1, 2021. The public comment period for the petition started on March 23, 2021, the date the petition was posted in the Chicago Sun Times, and lasted through April 16, 2021. The Clerk of the District did not receive any public comments.

Director of Engineering Recommendation

The petition failed to demonstrate any of the conditions listed in §1103.1 of the WMO as detailed above. The three major provisions that weighed heavily in the recommendation include the following:

- §1103.1.B: The petition failed to demonstrate how an unreasonable hardship would be created if the variance were not granted and appears to only consider economic hardship. This provision specifically states that “economic hardship alone shall not constitute unreasonable hardship.”
- §1103.1.C: The petition failed to offer any other design alternatives to comply with the stormwater management requirements or offer an opinion as to whether providing it is impractical. It appears that the petition simply requests that the area threshold be raised such that the project does not need to comply with the stormwater management requirements. The request to change the threshold of development area for which stormwater management requirements apply from 0.50 acres to 2 acres would be a major departure from current WMO standards that when applied throughout Cook County would result in fewer projects managing stormwater runoff and incorporating measures to mitigate the risk of flooding.
- §1103.1.E: The petition failed to demonstrate the uniqueness of the project. Of the 2,154 permits that have been issued by the District under the WMO since its effective date of May 1, 2014, all have been subject to the applicable stormwater management requirements in the WMO with respect to runoff, volume control, and detention.

The Director of Engineering recommends that the petition for variance be denied.

The WMO intentionally and purposefully establishes stormwater management requirements for redevelopment projects given the highly urbanized nature of Cook County. Even in cases where redevelopment does not increase imperviousness, or reduces imperviousness, runoff from redeveloped sites may exacerbate existing flooding conditions located downstream. The WMO requires local stormwater management facilities for redevelopment projects to protect downstream properties from potential flooding and to alleviate existing flooding conditions. If this petition were to include documentation to support all standards established in §1103.1 of the WMO, the recommendation to deny this petition for variance would not change.

APPENDIX A

Petition for Variance, Received January 21, 2021

November 11, 2020

Clerk of the District

JAN 21 2021

Metropolitan Water Reclamation
District of Greater Chicago

PETITION OF VARIANCE

Per the MWRD Watershed Management Ordinance Article 11 Section 1101.3

"Every Variance petition shall contain the following information, including, but not limited to:"

A. The co-permittee's notarized signature on the petition

Co-Permittee: Hotel Mannheim Group
6810 Mannheim Road
Rosemont, IL 60018
Carmen Rossi—Attorney/ Representative

I hereby consent to the filing of this petition for variance from the provisions of the Metropolitan Water Reclamation District of Greater Chicago, Watershed Management Ordinance as indicated below.

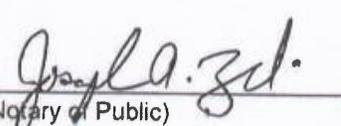
Dated this 12 day of November 2020



Carmen Rossi
Attorney/Representative
Expansion Project

Subscribed and sworn to me this 12th day of November, 2020

OFFICIAL SEAL
JOSEPH A ZAGORSKI
NOTARY PUBLIC - STATE OF ILLINOIS
MY COMMISSION EXPIRES: 02/13/22



(Notary of Public)

B. A letter of no objection to the variance request from the Permittee

See attached

C. The names and addresses of all professional consultants advising the Co-Permittee regarding the petition:

Brett Duffy-SPACECO, Inc.
John Li, Eric Chang—Hotel Mannheim Group
Daniel Lunch, Mark Wrzeszcz—CBBEL
Matt Murphy, Joe Lewis—SPACECO, Inc.

November 11, 2020

D. The address(es), plat of survey and legal description of the Site.

Addresses:
6810 Mannheim Road
Rosemont, IL 60018

E. Nuisances, fraud or victimization of the public, or;

No Nuisances, fraud or victimization of the public will result from approval of this Variance.

Attachments:

1. Letter of No Objection (Village of Rosemont-Permittee)
2. Plat of Survey
3. List of Properties Within 250' of the Site
4. Notice of Petition (copy) to be mailed by Co-Permittee to property owners
5. Notice of Petition to be placed (by Co-Permittee) in a Cook Country newspaper with a general circulation in the vicinity of the Site.

#1: The names and address(es) of all Owner of Record within two hundred and fifty feet (250 ft.) of this site.

Please see attached

#2: The specific feature(s) of the proposed Development that requires Variance.

This letter is to serve its purpose of recognition regarding the variance being sought with the Metropolitan Water Reclamation District of Greater Chicago. The owner of record for this site is Chicago Mannheim Chicago, LLC. The contractor of record is Aberdeen Construction Co.Inc. For the variance sought at 6810 Mannheim Road, the scope of work surrounding the overall project seeks relief from the .5-acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two (2) new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. The pool will be removed entirely and replaced into a flat surface area.

The village of Rosemont does not have any objections to this variance.

#3: The specific provision(s) of this Ordinance from which a Variance is being requested and the precise variation being sought.

The total contiguous ownership is 8.39 acres, and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

***** CONTINUED ON PAGE TWO PAGE *****

#4: A detailed statement of the characteristics of the Development that prevent it from complying with this ordinance.

Interior renovation of the hotel with limited budget.

#5: A detailed statement of the minimum variance of the provisions of this Ordinance that would be necessary to permit the proposed construction or development.

The minimum would be 2.0 acres disturbed versus .05 that is already allowed.

#6: A detailed statement describing how the requested Variance satisfies each of the criterion provided in Section 1103.1 of this Ordinance.

Granting the variance shall not alter the essential character of the area involved, including existing stream uses.

Failure to grant the variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship.

The relief requested is the minimum necessary and there are no means other than the requested variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development.

Section 1301.1

A: The district may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the development meets the requirements as specified on 8501.1 of this ordinance and all of the following conditions:

A: Granting the Variance shall not alter the essential character of the area involved, including existing stream uses.

B: Failure to grant Variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship.

C: The relief requested is the minimum necessary and there are no means other than the requested Variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development

D: The Co-Permittees circumstances are unique and do not represent a general condition or problem.

E: Granting Variance shall not result in any of the following:

1. *Increase in the regulatory flood plain elevation, unless a CLOMR is issued by FEMA;*
2. *Additional threats to public safety.*
3. *Extraordinary public expense.*
4. *Nuisances, fraud, victimization of the public or.*
5. *Conflict with existing laws.*
6. *Nuisances, fraud, or victimization of the public, or.*

Respectfully Submitted,

Carmen Rossi

Chicago Lake Law



VILLAGE OF
ROSEMONT

February 14, 2020

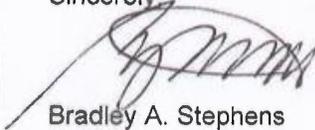
To Whom It May Concern

Subject: Development at 6810 N. Mannheim Road, Rosemont, IL 60018

The Village of Rosemont has reviewed the attached Disturbed Area exhibit. The proposed area of development is not located within a Special Flood Hazard Area (SFHA) per Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel Number 17031C0219J. Since the project is not located within a SFHA, there are no compliance issues with the local National Flood Insurance Program (NFIP). If the Metropolitan Water Reclamation of Greater Chicago (MWRDGC) deems it appropriate to grant a variance with respect to the drainage requirements of the Watershed Management Ordinance of Cook County for the proposed development, the Village of Rosemont does not object.

If you have any questions, please feel free to contact me.

Sincerely,



Bradley A. Stephens

Mayor

cc: Dan Lynch – CBBEL

9501 West Devon Ave.
Rosemont, IL 60018

Phone 847-825-4404
Fax 847-696-2717

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The Village of Rosemont offer an opinion of No Objection to the proposed Variance to remove the drainage requirement at the development site at 6810 Manheim Road. The Village understands the purpose of the Watershed Management Ordinance is to provide guidelines and structure for the betterment of the community and environment. It is our understanding that this proposed Variance will not alter the character of the area involved, nor alter the existing stream uses.

The Village recognizes the necessary Runoff Requirement steps a developer must go through when their Open Space development is greater or equal to 0.5 acre. Although this development does exceed that threshold, we believe the circumstance makes this case unique.

Article 501 (A-C) off the WMO, states that, "A Development shall not:

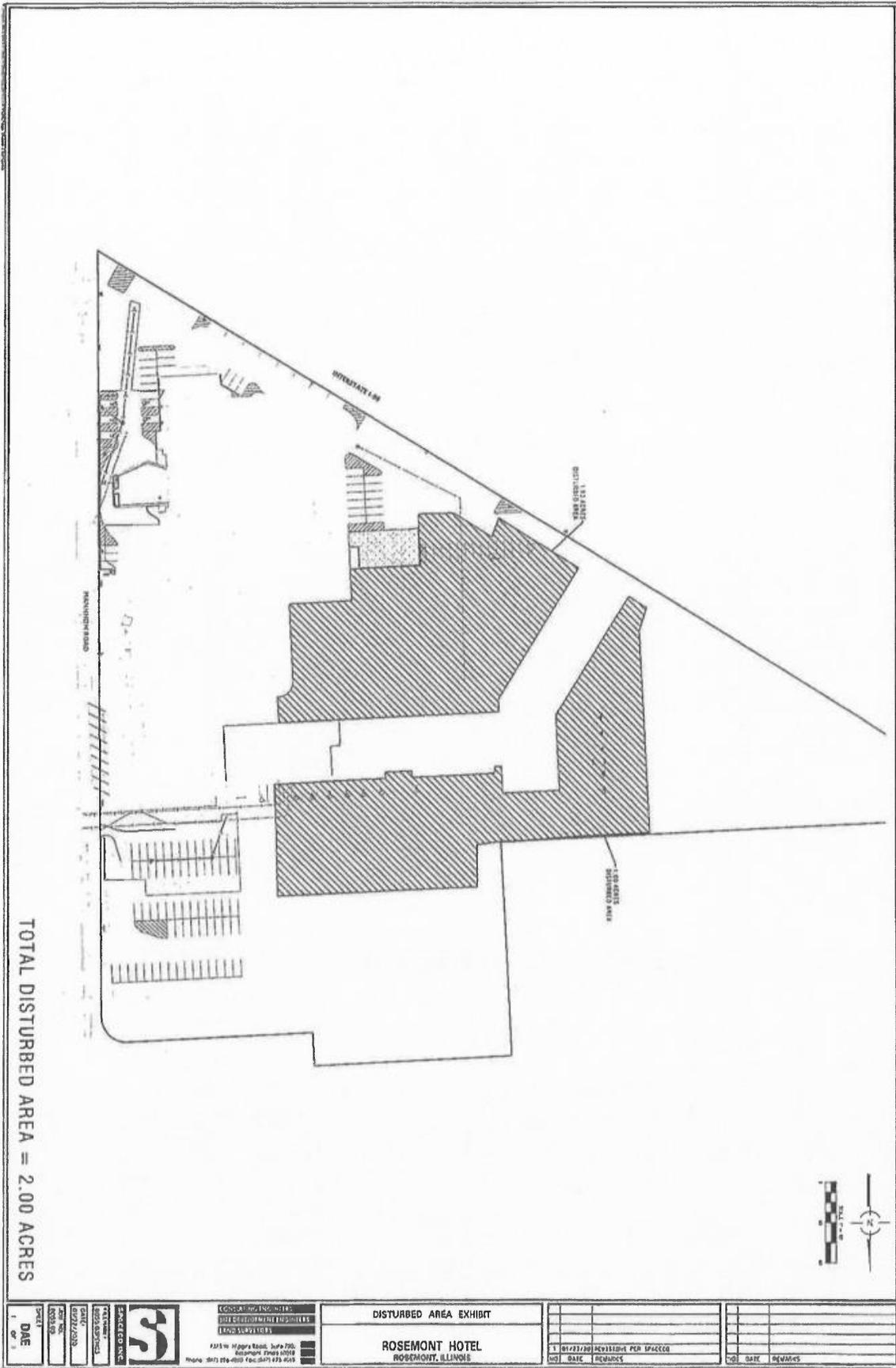
- A. Increase flood elevations or decrease flood conveyance capacity upstream or downstream of the property holding.
- B. Pose any increase in flood velocity or impairment of the hydrologic and hydraulic functions of streams and floodplains unless water resource benefit is realized;
- C. Unreasonably or unnecessarily degrade surface or ground-water quality. "

We took these three requirements into consideration when coming to our decision. This development does meet these requirements and the Village will work hand in hand with MWRD to make sure the Developer holds firm to these requirements. For the Variance sought at 6810 Mannheim, the scope of work surrounding the overall project seeks relief from the .5 acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. This pool will be removed entirely and replaced into a flat surface area.

The Village is committed to providing the best opportunities for our residents, visitors, and business'. We firmly believe that this development scheme is positive for our community and support the Developer Chicago Mannheim Chicago, LLC in their efforts to renovate a hotel development. After weighing all the alternative options and circumstances of the project we offer an opinion of No Objection to the proposed Variance.

Sincerely,

The Village of Rosemont



TOTAL DISTURBED AREA = 2.00 ACRES

1 of 1
 SHEET
 DATE



LOCAL GOVERNMENT
 DEPT. OF SURVEYING AND MAPPING
 LAND SURVEYORS
 4215 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (815) 216-4000 Fax: (815) 475-4549

DISTURBED AREA EXHIBIT
ROSEMONT HOTEL
 ROSEMONT, ILLINOIS

| NO. | DATE | REVISIONS |
|-----|----------|-----------------------|
| 1 | 01/23/20 | REVISIONS PER SP42000 |

| CDL | DATE | REVISIONS |
|-----|------|-----------|
| | | |
| | | |

ATTACHMENT 3

**List of Property Owners
Within 250' of the Site**

09-32-203-005-0000
HOTEL MANNHEIM CHGO LL
6810 MANNHEIM RD
ROSEMONT, IL 60018

09-32-205-014-0000
EXEMPT

09-32-206-007-0000
EXEMPT

09-32-206-012-0000
EXEMPT

09-32-206-013-0000
EXEMPT

09-32-206-014-0000
EXEMPT

09-32-206-016-0000
EXEMPT

09-32-206-017-0000
TAXPAYER OF
6810 MANNHEIM RD
ROSEMONT, IL 60018

09-32-207-005-0000
EXEMPT

09-32-207-025-0000
EXEMPT

09-32-207-026-0000
EXEMPT

09-32-207-027-0000
EXEMPT

09-32-207-028-0000
PEACOCK OIL CO
115 GAYLORD ST
ELK GROVE VL, IL 60007

09-32-207-038-0000
EXEMPT

09-32-207-039-0000
EXEMPT

09-32-207-040-0000
EXEMPT

09-32-211-004-0000
EXEMPT

09-32-211-005-0000
EXEMPT

09-32-211-006-0000
EXEMPT

09-32-211-007-0000
EXEMPT

09-32-211-009-0000
DEVELOPMENT RESOURCES
333 N DESPLAINES ST
CHICAGO, IL 60661

09-32-212-001-0000
EXEMPT

09-32-212-002-0000
EXEMPT

09-32-212-003-0000
EXEMPT

09-32-212-004-0000
EXEMPT

09-32-212-015-0000
TAXPAYER OF
6810 MANNHEIM ROAD
ROSEMONT, IL 60018

09-32-401-018-0000
ROSEMONT O'HARE HOTEL
333 NORTH DESPLAINES S
CHICAGO, IL 60661

09-32-401-019-0000
ROSEMONT O'HARE HOTEL
333 NORTH DESPLAINES S
CHICAGO, IL 60661

09-33-108-008-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-009-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-010-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-011-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-012-0000
CAFE LA CAVE
2777 S MANHEIM RD
DES PLAINES, IL 60018

09-33-108-013-0000
CAFE LA CAVE
2777 S MANHEIM RD
DES PLAINES, IL 60018

09-33-108-014-0000
CAFE LA CAVE
2777 S MANHEIM RD
DES PLAINES, IL 60018

09-33-108-022-0000
CAFE LA CAVE RS JS GAR
2777 S MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-023-0000
CAFE LA CAVE RE JS GAR
2777 S MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-024-0000
2655 AC LLC
15941 S HARLEM AVE 108
TINLEY PARK, IL 60477

09-33-109-062-0000
RAY MARIA BAHAMON
2725 GRECO LANE
DES PLAINES, IL 60018

09-33-109-063-0000
ARUCH POONSAPAYA
1666 FARWELL AVE
DES PLAINES, IL 60018

09-33-110-034-0000
CTLTC 8002381617
1665 FARWELL AVE
DES PLAINES, IL 60018

09-33-300-001-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-002-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-003-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-004-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-005-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-006-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-007-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-008-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-009-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-301-008-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-301-011-0000
EXEMPT

09-33-301-012-0000
EXEMPT

09-33-301-014-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER ROAD #4
ROSEMONT, IL 60018

09-33-301-013-0000
EXEMPT

09-33-305-024-0000
CITY OF DES PLAINES
1420 MINER ST
DES PLAINES, IL 60016

09-33-305-025-0000
CITY OF DES PLAINES
1420 MINER ST
DES PLAINES, IL 60016

09-33-305-027-0000
EXEMPT

09-32-211-001-0000
EXEMPT

09-32-211-002-0000
EXEMPT

09-32-211-008-0000
EXEMPT

09-32-210-010-0000
EXEMPT
OHARE FIELD

09-32-210-017-0000
EXEMPT
OHARE FIELD



RealInfo

The Power of Information

Tax Payer Address Label

Create Labels

Select Which Label Type You Wish To Print and Click the Create Labels Button

New Search

Logout

View Type

Select View

PostCards

Search Criteria: Find pins 09322030050000 -- 09322030059999 ,09322050140000 -- 09322050149999 ,09322060070000 -- 09322060079999 ,09322060120000 -- 09322060149999 ,09322060160000 -- 09322060179999 ,09322070050000 -- 09322070059999 ,09322070250000 -- 09322070289999 ,09322070380000 -- 09322070409999 ,09322100100000 -- 09322100109999 ,09322100170000 -- 09322100179999 ,09322110010000 -- 09322110029999 ,09322110040000 -- 09322110099999 ,09322120010000 -- 09322120049999 ,09322120150000 -- 09322120159999 ,09324010180000 -- 09324010199999 ,09331080080000 -- 09331080149999 ,09331080220000 -- 09331080249999 ,09331090620000 -- 09331090639999 ,09331100340000 -- 09331100349999 ,09333000010000 -- 09333000099999 ,09333010080000 -- 09333010149999 ,09333050240000 -- 09333050259999 ,09333050270000 -- 09333050279999

Properties

Found : 56

1)



ReallInfo LLC
Zoning Search
09-32-203-005-0000

Owner Name: SHERATON BLACKSTONE CORP,SHERATON BLACKSTON CORP
Site Address: 6810 N MANNHEIM RD ROSEMONT IL ,
Tax Payer Name: HOTEL MANNHEIM CHGO LL
Tax Payer Address : 6810 MANNHEIM RD ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,575,000 Sale Date: 2/11/1982
Document #: 26142384 - DEED OF SALE

2)



ReallInfo LLC
Zoning Search
09-32-205-014-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

3)



ReallInfo LLC
Zoning Search
09-32-206-007-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

4)



ReallInfo LLC
Zoning Search
09-32-206-012-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

5)

Owner Name:


ReallInfo LLC
Zoning Search
09-32-206-013-0000

Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

6) 
ReallInfo LLC
Zoning Search
09-32-206-014-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

7) 
ReallInfo LLC
Zoning Search
09-32-206-016-0000

Owner Name: GREATER CAPITAL CORP (UND 37.4% INT),
Site Address: 6810 N MANNHEIM RD ROSEMO IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/15/1986
Document #: 86020594 - QUIT CLAIM DEED

8) 
ReallInfo LLC
Zoning Search
09-32-206-017-0000

Owner Name: HOTEL MANNHEIM CHICAGO LLC,
Site Address: 6810 N MANNHEIM RD ROSEMONT IL 60018,
Tax Payer Name: TAXPAYER OF
Tax Payer Address : 6810 MANNHEIM RD ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$5,080,000 Sale Date: 9/12/2012
Document #: 1225601094 - SPECIAL WARRANTY DEED

9) 
ReallInfo LLC
Zoning Search
09-32-207-005-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

10) 
ReallInfo LLC
Zoning Search
09-32-207-025-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

11) 
ReallInfo LLC
Zoning Search
09-32-207-026-0000

Owner Name: THE VILLAGE OF ROSEMONT,
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date: 9/30/1974
Document #: 22862221 - WARRANTY DEED

12) 
ReallInfo LLC
Zoning Search
09-32-207-027-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

13) 
ReallInfo LLC
Zoning Search
09-32-207-028-0000

Owner Name:
Site Address: IL ,
Tax Payer Name: PEACOCK OIL CO
Tax Payer Address : 115 GAYLORD ST ELK GROVE VL IL 60007
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

14) 
ReallInfo LLC
Zoning Search
09-32-207-038-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:

Document #: -

15) 
ReallInfo LLC
Zoning Search
09-32-207-039-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: -

Sale Date:

16) 
ReallInfo LLC
Zoning Search
09-32-207-040-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: -

Sale Date:

17) 
ReallInfo LLC
Zoning Search
09-32-211-004-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: -

Sale Date:

18) 
ReallInfo LLC
Zoning Search
09-32-211-005-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: -

Sale Date:

19) 
ReallInfo LLC
Zoning Search
09-32-211-006-0000

Owner Name: FIRST BK OF OAK PARK UTA DTD NOV/00/74,
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: 22981232 - DEED IN TRUST

Sale Date: 1/30/1975

20) 
ReallInfo LLC
Zoning Search
09-32-211-007-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: -

Sale Date:

21) 
ReallInfo LLC
Zoning Search
09-32-211-009-0000

Owner Name: ROSEMONT O'HARE HOTEL PROPERTIES LLC,
Site Address: 6600 N MANNHEIM RD ROSEMONT IL 60018,
Tax Payer Name: DEVELOPMENT RESOURCES
Tax Payer Address : 333 N DESPLAINES ST CHICAGO IL 60661
Telephone #: N/A
Sale Amount: N/A
Document #: 516632036 - QUIT CLAIM DEED

Sale Date: 6/15/2005

22) 
ReallInfo LLC
Zoning Search
09-32-212-001-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: -

Sale Date:

23) 
ReallInfo LLC
Zoning Search
09-32-212-002-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A
Document #: -

Sale Date:

24) 
Owner Name:
Site Address: IL,
Tax Payer Name:


ReallInfo LLC
Zoning Search
09-32-212-003-0000

Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

25) 
ReallInfo LLC
Zoning Search
09-32-212-004-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

26) 
ReallInfo LLC
Zoning Search
09-32-212-015-0000

Owner Name: SHERATON BLACKSTONE CORP, SHERATON BLACKSTON CORP
Site Address: 6810 N MANNHEIM RD ROSEMONT IL 60018,
Tax Payer Name: TAXPAYER OF
Tax Payer Address 6810 MANNHEIM ROAD ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,575,000 Sale Date: 2/11/1982
Document #: 26142384 - DEED OF SALE

27) 
ReallInfo LLC
Zoning Search
09-32-401-018-0000

Owner Name:
Site Address:
Tax Payer Name: ROSEMONT O'HARE HOTEL
Tax Payer Address : 333 NORTH DESPLAINES S CHICAGO IL 60661
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

28) 
ReallInfo LLC
Zoning Search
09-32-401-019-0000

Owner Name:
Site Address:
Tax Payer Name: ROSEMONT O'HARE HOTEL
Tax Payer Address : 333 NORTH DESPLAINES S CHICAGO IL 60661
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

29) 
ReallInfo LLC
Zoning Search
09-33-108-008-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

30) 
ReallInfo LLC
Zoning Search
09-33-108-009-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

31) 
ReallInfo LLC
Zoning Search
09-33-108-010-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

32) 
ReallInfo LLC
Zoning Search
09-33-108-011-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

33) 
ReallInfo LLC
Zoning Search

Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2733 N MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: CAFE LA CAVE
Tax Payer Address : 2777 S MANHEIM RD DES PLAINES IL 60018
Telephone #: N/A

09-33-108-012-0000 **Sale Amount:** N/A **Sale Date:** 1/8/1997
Document #: 97016606 - DEED OF SALE

34) 
ReallInfo LLC
Zoning Search
09-33-108-013-0000
Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2733 N MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: CAFE LA CAVE
Tax Payer Address : 2777 S MANHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 1/8/1997
Document #: 97016606 - DEED OF SALE

35) 
ReallInfo LLC
Zoning Search
09-33-108-014-0000
Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2733 N MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: CAFE LA CAVE
Tax Payer Address : 2777 S MANHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 1/8/1997
Document #: 97016606 - DEED OF SALE

36) 
ReallInfo LLC
Zoning Search
09-33-108-022-0000
Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2777 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: CAFE LA CAVE RS JS GAR
Tax Payer Address : 2777 S MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 1/8/1997
Document #: 97016607 - DEED IN TRUST

37) 
ReallInfo LLC
Zoning Search
09-33-108-023-0000
Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2777 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: CAFE LA CAVE RE JS GAR
Tax Payer Address : 2777 S MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 1/8/1997
Document #: 97016607 - DEED IN TRUST

38) 
ReallInfo LLC
Zoning Search
09-33-108-024-0000
Owner Name: 2655 AC LLC,
Site Address: 2655-95 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: 2655 AC LLC
Tax Payer Address : 15941 S HARLEM AVE 108 TINLEY PARK IL 60477
Telephone #: N/A
Sale Amount: \$4,058,500 **Sale Date:** 5/1/2017
Document #: 1712139154 - SPECIAL WARRANTY DEED

39) 
ReallInfo LLC
Zoning Search
09-33-109-062-0000
Owner Name: BAHAMON MARIA G,BAHAMON RAY
Site Address: 2725 GRECO LN DES PLAINES IL 60018,
Tax Payer Name: RAY MARIA BAHAMON
Tax Payer Address : 2725 GRECO LANE DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 9/20/1989
Document #: 89443511 - WARRANTY DEED

40) 
ReallInfo LLC
Zoning Search
09-33-109-063-0000
Owner Name: POONSAPAYA ARUCH,
Site Address: 1666 FARWELL AV DES PLAINES IL 60018,
Tax Payer Name: ARUCH POONSAPAYA
Tax Payer Address : 1666 FARWELL AVE DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: \$210,000 **Sale Date:** 4/8/2011
Document #: 1109849015 - WARRANTY DEED

41) 
ReallInfo LLC
Zoning Search
09-33-110-034-0000
Owner Name: CHICAGO TITLE LAND TRUST COMPANY,TRUST NUMBER 8002381617
Site Address: 1665 FARWELL AV DES PLAINES IL 60018,
Tax Payer Name: CTLTC 8002381617
Tax Payer Address : 1665 FARWELL AVE DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 8/29/2019
Document #: 1924106028 - DEED IN TRUST

42) 
ReallInfo LLC
Zoning Search
09-33-300-001-0000
Owner Name: LA QUINTA PROPERTIES INC,
Site Address: 2811 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$434,500 **Sale Date:** 1/2/2003
Document #: 30004840 - DEED OF SALE

Owner Name:

- 43)  ReallInfo LLC
Zoning Search
09-33-300-002-0000
- Site Address: 2811 W MANNHEIM DR DES PLAIENS IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -
-
- 44)  ReallInfo LLC
Zoning Search
09-33-300-003-0000
- Owner Name:
Site Address: 4721 W LAKE ST MELROSE PARK IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -
-
- 45)  ReallInfo LLC
Zoning Search
09-33-300-004-0000
- Owner Name: IMAGE DES PLAINES LLC,
Site Address: 2811 N MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$500,000 Sale Date: 1/8/2019
Document #: 1900822021 - SPECIAL WARRANTY DEED
-
- 46)  ReallInfo LLC
Zoning Search
09-33-300-005-0000
- Owner Name: IMAGE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$500,000 Sale Date: 1/8/2019
Document #: 1900822021 - SPECIAL WARRANTY DEED
-
- 47)  ReallInfo LLC
Zoning Search
09-33-300-006-0000
- Owner Name: LA QUINTA PROPERTIES INC,
Site Address: 2811 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$434,500 Sale Date: 1/2/2003
Document #: 30004840 - DEED OF SALE
-
- 48)  ReallInfo LLC
Zoning Search
09-33-300-007-0000
- Owner Name:
Site Address: 4721 W LAKE ST MELROSE PARK IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -
-
- 49)  ReallInfo LLC
Zoning Search
09-33-300-008-0000
- Owner Name: PROMINENCE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,050,000 Sale Date: 1/3/2019
Document #: 1900313033 - SPECIAL WARRANTY DEED
-
- 50)  ReallInfo LLC
Zoning Search
09-33-300-009-0000
- Owner Name: PROMINENCE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,050,000 Sale Date: 1/3/2019
Document #: 1900313033 - SPECIAL WARRANTY DEED
-
- 51)  ReallInfo LLC
Zoning Search
09-33-301-008-0000
- Owner Name: PROMINENCE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,050,000 Sale Date: 1/3/2019
Document #: 1900313033 - SPECIAL WARRANTY DEED
-
- 52)  ReallInfo LLC
Zoning Search
09-33-301-011-0000
- Owner Name:
Site Address: 2845 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: 0
Tax Payer Address : N/A
Telephone #: N/A
Sale Amount: N/A Sale Date:

Document #: -

53)



ReallInfo LLC
Zoning Search
09-33-301-012-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address :
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

54)



ReallInfo LLC
Zoning Search
09-33-301-014-0000

Owner Name: LA QUINTA PROPERTIES INC,
Site Address: S/SE CRNR PRATT AV & ORCHARD PL DES PLAINES IL 60018,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER ROAD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$681,500 Sale Date: 1/2/2003
Document #: 30004842 - DEED OF SALE

55)



ReallInfo LLC
Zoning Search
09-33-305-024-0000

Owner Name:
Site Address: IL,
Tax Payer Name: CITY OF DES PLAINES
Tax Payer Address : 1420 MINER ST DES PLAINES IL 60016
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

56)



ReallInfo LLC
Zoning Search
09-33-305-025-0000

Owner Name:
Site Address: IL,
Tax Payer Name: CITY OF DES PLAINES
Tax Payer Address : 1420 MINER ST DES PLAINES IL 60016
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

NOTICE OF PETITION

Dear Property Owner

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The Variance is being requested so that the existing, vacant hotel on location can be remodeled into a new La Quinta Hotel and seeking Variance to use existing drainage on site. There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

Copies of the full Petition of Variance may be obtained by contacting Hotel Mannheim Group representative, Aberdeen Construction via phone at 773-930-4150.

Upon request, any and all documents concerning this Petition for Variance will be made available for inspection at the Development location noted above.

Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago
Clerk of the District
100 East Erie Street
Chicago, IL 606011

Hotel Mannheim Group

NOTICE OF PETITION

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance for relief from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago
Clerk of the District
100 East Erie Street
Chicago, IL 606011

Hotel Mannheim Group,

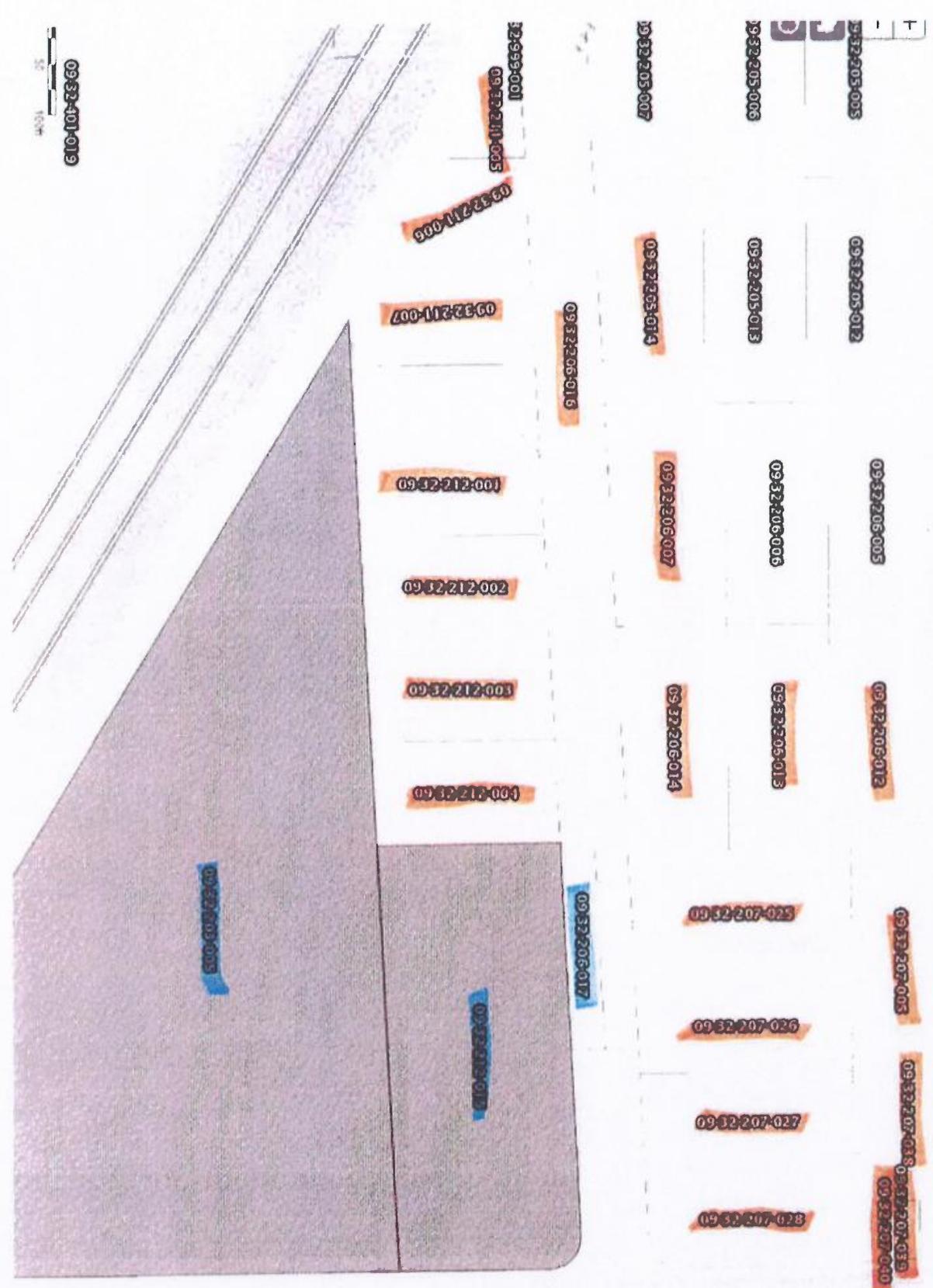
0 100 200ft

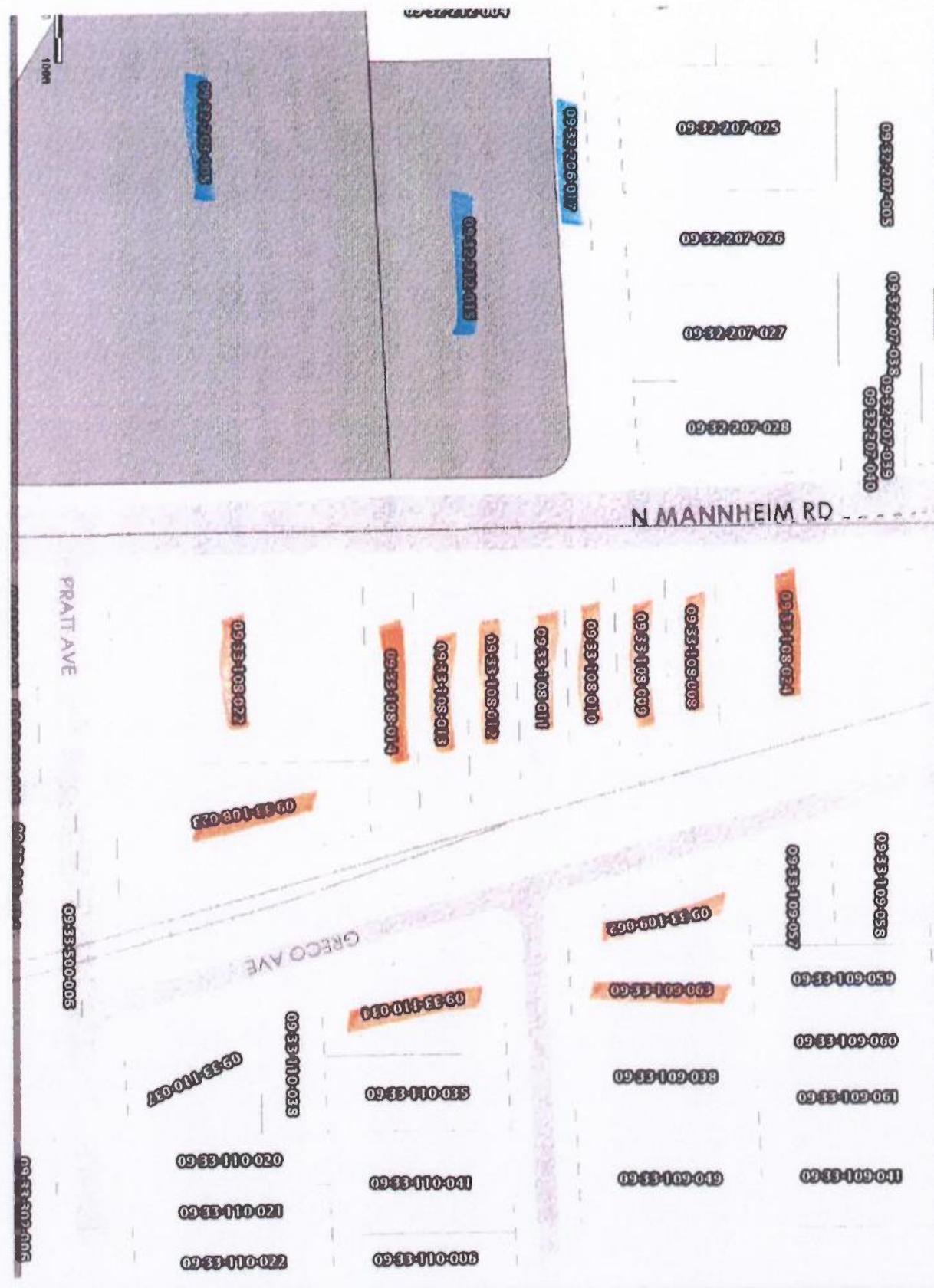


Client Map

Overview 1 of 7

Client Map Northwest 2 of 7





Client Map Northeast 3 of 7





WILLOW STREET

MANHEIM RD

09-32-401-017

09-32-401-019

09-32-401-019

Cirent

Map

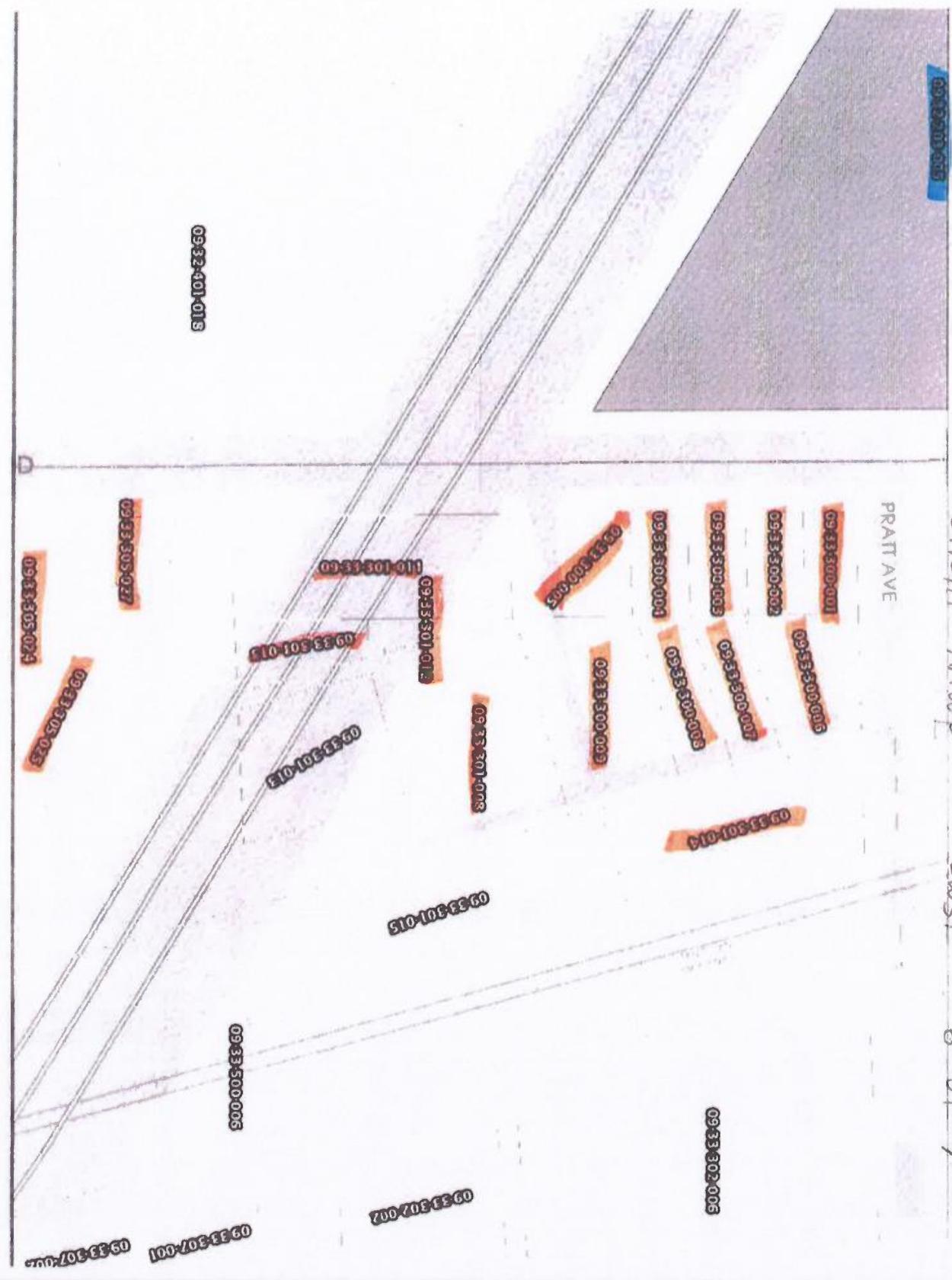
Southwest

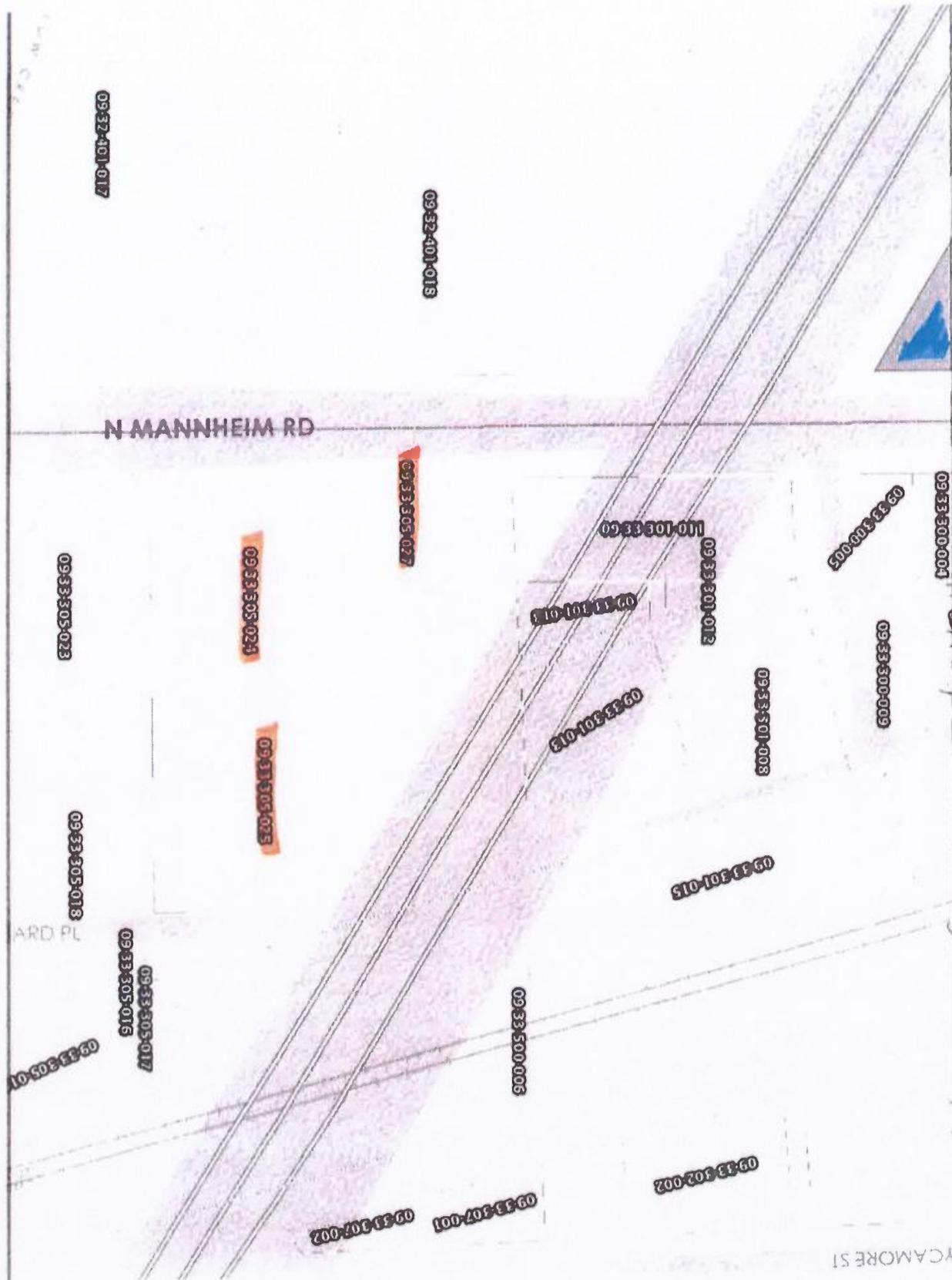
5 of 7

MANHEIM RD

Client Map East 6 of 7

PRATT AVE





Client Map Southeast 7 of 7

8/11/2020

Brett Duffy, P.E.
SPACECO, Inc.
9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Email: bduffy@spacecoinc.com

Dear Mr. Duffy:

Subject: WMO Permit Application No.: 20-172 Review Letter No.: 1
Name of Project: 6810 Mannheim Road Development
Municipality: Rosemont

Review of the subject application, drawings, and supporting documentation has been completed. The items listed below must be addressed prior to issuance of a permit.

General Comments:

1. Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance .
2. This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.
3. Additional fees are required for detention review and the recordation deposit. Submit an updated fee payment voucher and check for the remaining fees.

Permit Application:

4. Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.
5. Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

Plans:

6. Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.
7. Sheet 2: Revise General Note 4 or mark the plans "For Construction".

1 of 2

8. Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.
9. Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.
10. Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.
11. Provide the MWRD General Notes as part of the plan set.
12. Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.
13. Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.

Please revise the permit application, plans, and supporting documentation accordingly, submit two (2) copies of the revised permit application pages, two (2) complete sets of revised plans, and a written response addressing each of the above items within 30 days. Permit applications will not be kept open indefinitely. The permit application may be canceled by the District if a resubmittal has not been received within 90 days, following the first review letter (WMO §1401.3.B). In addition, the permit application may be canceled by the District if meaningful compliance progress is not made within 180 days following the first review letter.

If there are any questions, please email me at cunicom@mwrdd.org.

Respectfully,
Michael Cunico

Michael Cunico, P.E.
Associate Civil Engineer



9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

October 9, 2020

Michael Cunico, P.E.
Metropolitan Water Reclamation
District of Greater Chicago
Local Sewer Systems Section
111 East Erie Street, Sixth Floor
Chicago, IL 60611

RE: MWRD PERMIT NO.: 20-172
6810 MANNHEIM ROAD DEVELOPMENT
VILLAGE OF ROSEMONT
COOK COUNTY, ILLINOIS
SPACECO PROJECT No: 8055.04

Dear Mr. Cunico:

On behalf of our Client, we are submitting the revised documents for the MWRDGC Sewerage System Permit for the proposed site improvement plans for the proposed 6810 Mannheim Road development located in the Village of Rosemont, Illinois. Enclosed for your review and comment are:

Enclosed for your review and comment are:

1. Two (2) copies of the revised MWRD Permit Application Sheets including Schedule P
2. Two (2) sets of the Site Improvement Plans for 6810 Mannheim Road Development signed and sealed dated June 8, 2020, last revised October 9, 2020
3. Two (2) copies of the revised Stormwater Management Report dated October 2020

Attached are our responses to your review comments dated August 11, 2020.

Sincerely,

SPACECO, Inc.

Brett Duffy, P.E.
Principal

cc: John Li, Eric Chang – Hotel Mannheim Chicago, LLC
Daniel Lynch, Mark Wrzeszcz - CBBEL
Matt Murphy, Joe Lewis – SPACECO, Inc.

N:\Projects\8055\8055.04\PERMITS\MWRD\8055.04-LTR-MWRDGC-CR-2020-1009.doc

GENERAL COMMENTS:

COMMENT 1: Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance.

RESPONSE 1: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

COMMENT 2: This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.

RESPONSE 2: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

COMMENT 3: Additional fees are required for detention review and the recordation deposit. Submit an updated fee payment voucher and check for the remaining fees.

RESPONSE 3: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

PERMIT APPLICATION:

COMMENT 4: Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.

RESPONSE 4: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. The box has been unchecked for Schedule K on the permit application's cover sheet.

COMMENT 5: Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

RESPONSE 5: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. Schedule P, Items 1.C and 1.D have been left unchecked and NA per the variance request above. Schedule P, Item 2.A, Entrance/Exit Control, has been checked and the stabilized entrance is shown at the south entrance of the site with the applicable Notes. A concrete washout is located at the south side of the site near the parking lot improvements with the applicable notes.

PLANS:

COMMENT 6: Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.

RESPONSE 6: A Drainage Certificate has been included on Sheet C1 (Cover Sheet)

COMMENT 7: Sheet 2: Revise General Note 4 or mark the plans "For Construction".

RESPONSE 7: Sheet 2, General Note 4 has been revised to exclude the statement, "NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION"."

COMMENT 8: Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.

RESPONSE 8: All storm sewer proposed to be 10-inch pipe has been revised to 10-inch DIP. The minimum cover over the 10-inch DIP pipe is 0.8725-feet (10.5-inches) which is sufficient cover over DIP. Catch basins that have less than 2-feet of cover over the pipe have been revised from a Type A catch basin to a Type C catch basin allowing for a frame on structure. The structures revised include CB-204 and CB-208.

COMMENT 9: Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.

RESPONSE 9: The upstream invert of the existing sanitary sewer is inconclusive currently and the proposed crossing location and elevation is approximate. The contractor will need to expose the existing sanitary sewer and confirm location and elevation. After verification the siphon will remain or be revised as necessary. Increasing slope will create cover

issues upstream and reducing the slope will not provide the necessary clearance for the crossing. A siphon detail has been added to Sheet UT1

COMMENT 10: Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.

RESPONSE 10: The IP identifier has been added to the Symbol Legend on Sheet SE3 and delineates a catch-all/inlet protection. The construction entrance/exit control will be up to the means and methods of the contractor. The contractor shall utilize the existing accesses as necessary and agreed to with the existing users. Notes were added to Sheet SE3 and include the note "...Contractor shall clean parking lot and existing roadway as necessary throughout construction."

COMMENT 11: Provide the MWRD General Notes as part of the plan set.

RESPONSE 11: The MWRD General Notes have been included in the plan set as Sheet SP2.

COMMENT 12: Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.

RESPONSE 12: The Location Map included on the Cover Sheet has been revised to include the storm sewer routing from the proposed site to the existing waterway. There is a 48-inch and 72-inch existing storm sewer running south on Mannheim Road and discharges to the Willow-Higgins Creek.

COMMENT 13: Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.

RESPONSE 13: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

APPENDIX B

Notice of Procedural Deficiency, Served March 15, 2021

**BEFORE THE BOARD OF COMMISSIONERS
OF THE METROPOLITAN WATER RECLAMATION
DISTRICT OF GREATER CHICAGO**

Clerk of the District
MAR 15 2021
Metropolitan Water Reclamation
District of Greater Chicago

IN RE: PETITION FOR VARIANCE OF)
HOTEL MANNHEIM GROUP,)
)
Petitioner.)
)
)

Case No. WMO-VP-21-01
Property Address: 6810 Mannheim Road
Rosemont, IL 60018

NOTICE OF PROCEDURAL DEFICIENCY

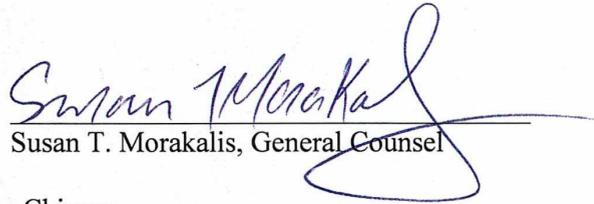
Pursuant to Section 5(H) of the Metropolitan Water Reclamation District of Greater Chicago's ("District") Procedural Rules Applicable to Administrative Proceedings under the Watershed Management Ordinance ("WMO")("Procedural Rules"), the District, by and through its General Counsel Susan T. Morakalis, provides Petitioner Hotel Mannheim Group ("Petitioner") notice that the Petition for Variance filed with the Clerk of the District on January 21, 2021 ("Petition") has procedural deficiencies. Under Section 5.H.3 of the Procedural Rules, within fourteen days of this Notice, the Petitioner must either: (1) cure the deficiencies identified in this Notice; (2) provide evidence that the deficiency was corrected prior to this Notice; or (3) withdraw the petition. **IF THE PETITIONER FAILS TO TAKE ACTION WITHIN 14 DAYS, THE PETITION WILL BE DEEMED WITHDRAWN.** In particular, the Petition is deficient in the following ways:

- 1) Petitioner failed to pay a variance filing fee as required by §1101.2 and Appendix F of the WMO;
- 2) The Petition failed to contain the following:
 - a. addresses of the project's consultants in violation of §1101.3.C;
 - b. a plat of survey or legal description of the project site in violation of §1101.3.D;
 - c. No detail of which specific provisions of the WMO from which a variance is being sought in violation of §1101.3.G;

- 3) Petitioner failed to file a certification of publication within 14 days of filing of the Petition as required by §1102.4; and
- 4) Petitioner failed to file a sworn affidavit that notices were sent to the addresses of nearby property owners as required by §1102.5.

In addition to being identified as a procedural deficiency above, Petitioner's failure to provide the notices and file proof of that notice as required in §1102 of the WMO allows the District to deny any petition for variance under §1102.7 of the WMO.

Further, the WMO explicitly requires the Petitioner to demonstrate that the Petition meets §1103.1 of the WMO. In the event the Petitioner seeks to cure the deficiencies identified above and file proof of notices required in §1102 of the WMO, the District encourages Petitioner to ensure that the Petition's "detailed statement" fully demonstrates how the Petition complies with the Standards set out in §1103.1 of the WMO.


Susan T. Morakalis, General Counsel

Metropolitan Water Reclamation District of Greater Chicago
Susan T. Morakalis (morakaliss@mwr.org)
Jorge T. Mihalopoulos (mihalopouloj@mwr.org)
Anastasios T. Foukas (foukasa@mwr.org)
100 East Erie Street
Chicago, Illinois 60611
(312) 751-5929

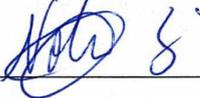
CERTIFICATE OF SERVICE

The undersigned, a non-attorney, certifies that s/he caused a true and correct copy of the Notice of Procedural Deficiency to be served upon:

Carmen Rossi
Chicago Lake Law/City Lake Law
110 W Hubbard Street Suite 400
Chicago, IL 60654

Hotel Mannheim Group
6810 N. Mannheim Rd.
Rosemont, IL 60018

by certified mail at the addresses identified above by placing the same with postage pre-paid in a United States Postal Service mailbox at 100 E. Erie St., Chicago, IL 60611, at or before 5:00 p.m. on the 15th of March, 2021.



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| Street and Apt. No., or PO Box No. | Chicago Lake Law/City Lake Law 110 W Hubbard Street Suite 400 |
| City, State, ZIP+4® | Chicago, IL 60654 |

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Rosemont, IL. 60018

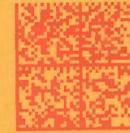
PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

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**Metropolitan Water Reclamation
District of Greater Chicago**

100 East Erie Street
Chicago, Illinois 60611-3154
Law – A. Foukas

Carmen Rossi
Chicago Lake Law/City Lake Law
110 W. Hubbard Street Suite 400
Chicago, IL. 60654

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**Metropolitan Water Reclamation
District of Greater Chicago**
100 East Erie Street
Chicago, Illinois 60611-3154
Law – A. Foukas

Hotel Mannheim Group
6810 N. Mannheim Rd.
Rosemont, IL. 60018

APPENDIX C

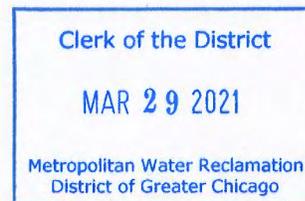
Petition for Variance Resubmittal, Received March 29, 2021

Table of Contents
Re: Resolutions to Notice of Procedural Deficiency

1. Payment of variance filing fee as required by 1101.2 and Appendix F of WMO: included in packed
2. A) Page 2 of Petition of Variance: Brett Duffy – SPACECO, Inc.
9575 W Higgins Road Suite 700
Rosemont, IL 60018

B) Attachment 2 included in Petition of Variance

C) Included on page 7 of the Petition of Variance. Article 501 (A-C) “A Development shall not”
3. Certification of publication included in submitted packed. Circulating in Chicago Sun Times on 3/26/21
4. Sworn affidavit included in submitted packet



IN RE: PETITION FOR VARIANCE OF
HOTEL MANNHEIM GROUP

Case No. WMO-VP-21-01
Property Address: 6810 Mannheim Road
Rosemont, IL 60018

The proposed Variance located on 6810 Mannheim Road in Rosemont, IL aligns with the Illinois Watershed Ordinance section 103. The new additions improve the conditions surrounding the floodplain. The proposed renovation does not create any additional pressure on surrounding area.

The Variance will improve all storm water runoff that will be captured on-site allowing for safe and effective evaporation. The leveling and implementation of improved draining technology of the parking lot will help the drainage of ground water on site – in line with the safe watershed mitigation practices outlined in the Watershed Ordinance. The Variance improves upon current conditions leading to an overall safer and environmentally friendly floodplain.

Hotel Mannheim Group

**6810 Mannheim Road
Rosemont, Illinois**

INTRODUCTION

The project site is located at 6810 Mannheim Road in the Village of Rosemont, Cook Count, Illinois. The total contiguous ownership is 8.38 acres and the proposed development will disturb approximately 2.0 acres. The storm water analysis was performed based on the land plan prepared by the project architect, the topographic survey prepared by SPACECO Inc., in accordance with the requirements of the Watershed Management Ordinance (Ordinance) as adopted by the Metropolitan Water Reclamation District of Greater Chicago on October 3, 2013, and as amended to, and including May 16, 2019.

The Village of Rosemont is in support of this project. The scope of work surrounding the overall project seeks relief from the .5 acre trigger of drainage because the disruption in this case is a **reduction of use and thus not necessary for applied purposes of requiring such additional drainage**. The work on the north side of the existing building will be just resurface in the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously and indoor poll. This pool will be removed entirely and replace into a flat surface area that is constructed of a material with drainage holes within it. There will be no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

Under the proposed renovation all of the storm water will be captured on-site and allowed toe evaporate, soak into the ground on-site, thus not triggering the need for additional drainage.

EXISTING CONDITIONS

Under existing conditions, the project site is a hotel facility with the associated roadways and utilities. The site is located directly north of Interstate 1-90, and on the west side of Mannheim Road. A 72" storm sewer traverses north to south on the east side of the site parallel to Mannheim Road.

There is no floodplain based on existing topography and a mapped floodway located on-site as delineated by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel number 0219], effective August 19, 2008. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek. The project is located in a separate sewer area. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

There are no existing wetlands/waters of the U.S. located on the site.

PROPOSED CONDITIONS

General Storm water Information

The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements, and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 Acres.

There is currently no storm water detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

Site Runoff Requirements

The project is located in a separate sewer area, and the site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

The following table is a breakdown of the existing and proposed on-site areas. This is a holistic view and does not distinguish between detained, unrestricted, and native plantings.

| Site Condition | Areas | | | |
|----------------|--------------|----------------|-----------|--------------|
| | Pervious Ac. | Impervious Ac. | Total Ac. | % Impervious |
| Existing | 0.49 | 1.51 | 2.0 | 76 |
| Proposed | 0.19 | 1.81 | 2.0 | 91 |

There is no upstream area tributary to the site. There is no depressional storage on site.

GRANTING OF A VARIANCE:

Development shall not:

- A. Increase flood elevations or decrease flood conveyance capacity upstream or downstream of the property holding
- B. Pose any increase in flood velocity or impairment of the hydrologic and hydraulic functions of streams and floodplains unless a water resource benefit is realized
- C. Unreasonably or unnecessarily degrade surface or ground-water quality

The District may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the project meets the requirements in 501.1 A-C of this Ordinance and the petition demonstrates all of the following conditions:

1. Granting the variance neither alters the essential character of the area involved, nor alters existing stream uses;
2. Failure to grant the variance would create an unreasonable hardship on the applicant; ECONOMIC HARDSHIP ALONE SHALL NOT CONSTITUTE UNREASONABLE HARDSHIP.
3. The variance to be granted is the minimum necessary and there are no other means by which the alleged hardship can be avoided or remedied to a degree sufficient to permit the reasonable continuation of the project;
4. The applicant's circumstance are unique, not self-imposed, and do not represent a general condition or problem;
5. The project is unique when compared to other projects that have met the provisions of this Ordinance;
6. A development proposed within a flood protection area is unable to be constructed outside the floor protection area; and
7. Granting the variance shall not result in any of the following:
 1. Increase in the regulatory floodplain elevation, unless a CLOMR is issued by FEMA;
 2. Additional threats to public safety
 3. extraordinary public expense
 4. nuisance, fraud, or victimization of the public; or
 5. conflict with existing laws or ordinances

Per Section 103 of the Illinois Watershed Ordinance, granting of this variance adheres to and improves upon the purposes of this ordinance:

- A. Protecting the public health, safety, and welfare, and reducing the potential for loss of property due to flood damage;**
 - 1. though correction of the pitch on existing parking lots, and the creation of a flat surface area constructed with of a material with drainage holes within it.
- B. Managing and mitigating the effects of urbanization on stormwater drainage throughout Cook County;**
 - 1. by safely dispersing stormwater runoff captured on-site allowing for the runoff to evaporate or soak into the ground on site thus not triggering the need for additional drainage
- C. Protecting existing and new development by minimizing the increase of stormwater runoff volume beyond that experienced under existing conditions and by reducing peak stormwater flows;**
 - 1. there will be no alterations to existing characteristics and essential characters within the watershed nor impeded on the existing MWRD ordinance
- D. Promoting responsible land use practices in Cook County, particularly within floodplains and floodways;**
 - 1. Failure to grant the variance necessitating a period for FEMA to approve said modifications is not responsible land use
 - 1. FEMA has indicated granting licenses is secondary priority to disaster relief – could cause excessive delays to a construction site – per definition of FEMA page A-6
- E. Protecting existing water resources, including lakes, streams, floodplains, wetlands, and groundwater from detrimental and unnecessary modification in order to maintain their beneficial functions;**
 - 1. There is no floodplain based on existing topography and mapped floodway located on-site delineated by FEMA
- F. Reducing or mitigating the environmentally detrimental effects of existing and future runoff in order to improve and maintain water quality;**
 - 1. As no new additional plumbing capacities added to the site thus no disruption to the current drainage schematics
- G. Preserving and enhancing existing riparian environments;**
 - 1. The proposed variance will have no altering affect on existing riparian environments, if anything improve upon by implementing new drainage technology
- H. Controlling erosion and the discharge of sediment from all sources including, but not limited to, stormwater facilities, waterways, developments, and construction sites;**
 - 1. There is a temporary status on the site, while under construction – failure will cause even greater erosion risk as temporary parameters are not as affective as permanent implementation of proposed offsetting draining infrastructure

- I. **Requiring appropriate and adequate provisions for site runoff control;**
 - 1. All provisions adequately adept to provide proper site runoff control and mitigation of risk
- J. **Requiring consistency in stormwater management activities within and among the units of government having stormwater management jurisdiction;**
 - 1. Failure to grant variance is inconsistent per current Illinois Watershed Ordinance – current language necessitates the need for preservation of land and current status however, lengthy delays imposed by FEMA pose a greater risk than granting of the variance.
- K. **Ensuring future development in the floodplain does not adversely affect floodplain environments or increase the potential for flood damage;**
 - 1. The redevelopment of the site will include reconfiguring of the parking lot with storm and sewer improvements
- L. **Requiring regular, planned maintenance of stormwater management facilities;**
 - 1. All planned maintenance will adhere to current Illinois Watershed Ordinance Standards
- M. **Encouraging control of stormwater quantity and quality at the most site-specific or local level;**
 - 1. Fixing the pitch will create an even surface evenly distributing the stormwater evenly mitigated risk of flooding or destruction of existing riparian environments
- N. **Meeting the floodway permitting requirements of the Illinois Department of Natural Resources, Office of Water Resources, delineated in the Rivers, Lakes, and Streams Act (615 ILCS 5/18g);**
 - 1. All requirements are met per Illinois Department of Natural Resources, Office of Waters Resources delineated in (615 ILCS 5/18g);

PETITION OF VARIANCE

Per the MWRD Watershed Management Ordinance Article 11 Section 1101.3

"Every Variance petition shall contain the following information, including, but not limited to:"

A. The co-permittee's notarized signature on the petition

Co-Permittee: Hotel Mannheim Group
6810 Mannheim Road
Rosemont, IL 60018
Carmen Rossi—Attorney/ Representative

I hereby consent to the filing of this petition for variance from the provisions of the Metropolitan Water Reclamation District of Greater Chicago, Watershed Management Ordinance as indicated below.

Dated this 12 day of November 2020

77-

Carmen Rossi
Attorney/Representative
Expansion Project

Subscribed and sworn to me this 12th day of November, 2020



Joseph A. Zagorski
(Notary of Public)

B. A letter of no objection to the variance request from the Permittee

See attached

C. The names and addresses of all professional consultants advising the Co-Permittee regarding the petition:

Brett Duffy-SPACECO, Inc.
John Li, Eric Chang—Hotel Mannheim Group
Daniel Lunch, Mark Wrzeszcz—CBBEL
Matt Murphy, Joe Lewis—SPACECO, Inc.

ADDRESSES OF PROFESSIONAL CONSULTANTS:

Brett Duffy
Spaceco, Inc
9575 W Higgins Road
Suite 700
Rosemont, IL 60018

John Li & Eric Chang
Hotel Mannheim Group
6810 Mannheim Road
Rosemont, IL 60018

Daniel Lunch & Mark Wrzeszcz
CBBEL
9575 W Higgins Road
Suite 600
Rosemont, IL 60018

Matt Murphy & Joe Lewis
Spaceco
9575 W Higgins Road
Suite 700
Rosemont, IL 60018

D. The address(es), plat of survey and legal description of the Site.

Addresses:

6810 Mannheim Road
Rosemont, IL 60018

E. Nuisances, fraud or victimization of the public, or;

No Nuisances, fraud or victimization of the public will result from approval of this Variance.

Attachments:

1. Letter of No Objection (Village of Rosemont-Permittee)
2. Plat of Survey
3. List of Properties Within 250' of the Site
4. Notice of Petition (copy) to be mailed by Co-Permittee to property owners
5. Notice of Petition to be placed (by Co-Permittee) in a Cook Country newspaper with a general circulation in the vicinity of the Site.

#1: The names and address(es) of all Owner of Record within two hundred and fifty feet (250 ft.) of this site.

Please see attached

#2: The specific feature(s) of the proposed Development that requires Variance.

This letter is to serve its purpose of recognition regarding the variance being sought with the Metropolitan Water Reclamation District of Greater Chicago. The owner of record for this site is Chicago Mannheim Chicago, LLC. The contractor of record is Aberdeen Construction Co.Inc. For the variance sought at 6810 Mannheim Road, the scope of work surrounding the overall project seeks relief from the .5-acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two (2) new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. The pool will be removed entirely and replaced into a flat surface area.

The village of Rosemont does not have any objections to this variance.

#3: The specific provision(s) of this Ordinance from which a Variance is being requested and the precise variation being sought.

The total contiguous ownership is 8.39 acres, and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

***** CONTINUED ON PAGE TWO PAGE *****

#4: A detailed statement of the characteristics of the Development that prevent it from complying with this ordinance.

Interior renovation of the hotel with limited budget.

#5: A detailed statement of the minimum variance of the provisions of this Ordinance that would be necessary to permit the proposed construction or development.

The minimum would be 2.0 acres disturbed versus .05 that is already allowed.

#6: A detailed statement describing how the requested Variance satisfies each of the criterion provided in Section 1103.1 of this Ordinance.

Granting the variance shall not alter the essential character of the area involved, including existing stream uses.

Failure to grant the variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship.

The relief requested is the minimum necessary and there are no means other than the requested variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development.

Section 1301.1

A: The district may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the development meets the requirements as specified on 8501.1 of this ordinance and all of the following conditions:

A: Granting the Variance shall not alter the essential character of the area involved, including existing stream uses.

B: Failure to grant Variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship.

C: The relief requested is the minimum necessary and there are no means other than the requested Variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development

D: The Co-Permittees circumstances are unique and do not represent a general condition or problem.

E: Granting Variance shall not result in any of the following:

1. *Increase in the regulatory flood plain elevation, unless a CLOMR is issued by FEMA;*
2. *Additional threats to public safety.*
3. *Extraordinary public expense.*
4. *Nuisances, fraud, victimization of the public or.*
5. *Conflict with existing laws.*
6. *Nuisances, fraud, or victimization of the public, or.*

Respectfully Submitted,

Carmen Rossi

Chicago Lake Law



VILLAGE OF
ROSEMONT

February 14, 2020

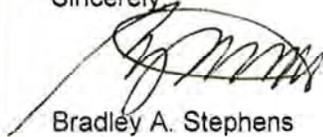
To Whom It May Concern

Subject: Development at 6810 N. Mannheim Road, Rosemont, IL 60018

The Village of Rosemont has reviewed the attached Disturbed Area exhibit. The proposed area of development is not located within a Special Flood Hazard Area (SFHA) per Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel Number 17031C0219J. Since the project is not located within a SFHA, there are no compliance issues with the local National Flood Insurance Program (NFIP). If the Metropolitan Water Reclamation of Greater Chicago (MWRDGC) deems it appropriate to grant a variance with respect to the drainage requirements of the Watershed Management Ordinance of Cook County for the proposed development, the Village of Rosemont does not object.

If you have any questions, please feel free to contact me.

Sincerely,



Bradley A. Stephens

Mayor

cc: Dan Lynch - CBBEL

9501 West Devon Ave.
Rosemont, IL 60018

Phone 847-825-4404
Fax 847-696-2717

N:\ROSEMONT\14010\Admin\1.021420 Docx

The Village of Rosemont offer an opinion of No Objection to the proposed Variance to remove the drainage requirement at the development site at 6810 Mannheim Road. The Village understands the purpose of the Watershed Management Ordinance is to provide guidelines and structure for the betterment of the community and environment. It is our understanding that this proposed Variance will not alter the character of the area involved, nor alter the existing stream uses.

The Village recognizes the necessary Runoff Requirement steps a developer must go through when their Open Space development is greater or equal to 0.5 acre. Although this development does exceed that threshold, we believe the circumstance makes this case unique.

Article 501 (A-C) off the WMO, states that, "A Development shall not:

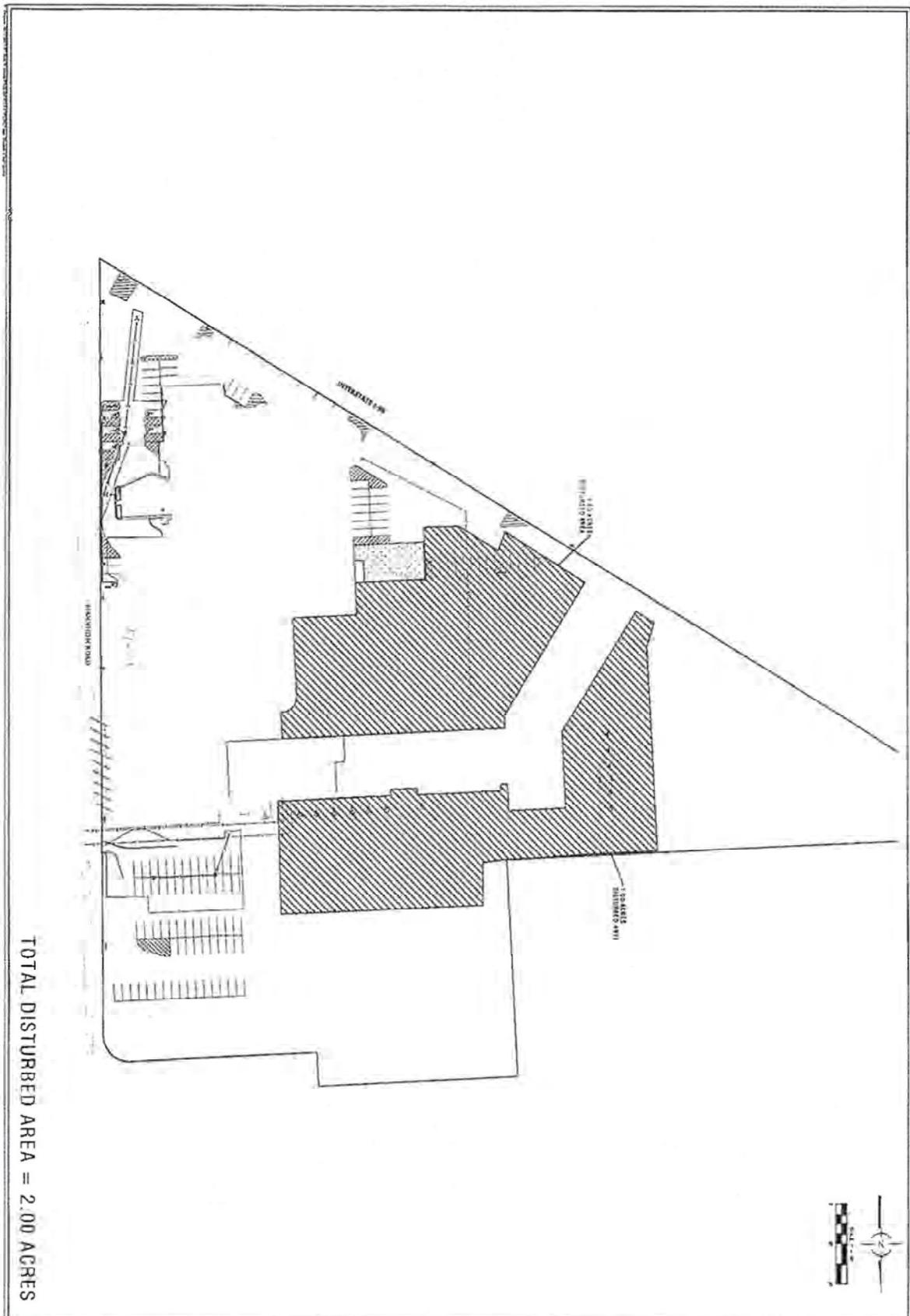
- A. Increase flood elevations or decrease flood conveyance capacity upstream or downstream of the property holding.
- B. Pose any increase in flood velocity or impairment of the hydrologic and hydraulic functions of streams and floodplains unless water resource benefit is realized;
- C. Unreasonably or unnecessarily degrade surface or ground-water quality. "

We took these three requirements into consideration when coming to our decision. This development does meet these requirements and the Village will work hand in hand with MWRD to make sure the Developer holds firm to these requirements. For the Variance sought at 6810 Mannheim, the scope of work surrounding the overall project seeks relief from the .5 acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. This pool will be removed entirely and replaced into a flat surface area.

The Village is committed to providing the best opportunities for our residents, visitors, and business'. We firmly believe that this development scheme is positive for our community and support the Developer Chicago Mannheim Chicago, LLC in their efforts to renovate a hotel development. After weighing all the alternative options and circumstances of the project we offer an opinion of No Objection to the proposed Variance.

Sincerely,

The Village of Rosemont

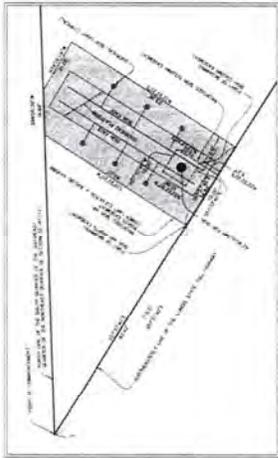


TOTAL DISTURBED AREA = 2.00 ACRES

| | S&S ENGINEERING 4311 W. Higgins Road, Suite 100 Rosemont, Illinois 60018 Phone: (847) 894-4000 Fax: (847) 475-4100 | DISTURBED AREA EXHIBIT ROSEMONT HOTEL ROSEMONT, ILLINOIS | <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | REVISIONS | | | | | | | <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REMARKS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | REMARKS | | | | | | |
|--|---|--|--|-----|------|-----------|--|--|--|--|--|--|--|-----|------|---------|--|--|--|--|--|--|
| | NO. | DATE | REVISIONS | | | | | | | | | | | | | | | | | | | |
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| NO. | DATE | REMARKS | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| PROJECT NO. _____ SHEET NO. _____ DATE _____ DRAWN BY _____ CHECKED BY _____ | REGISTERED PROFESSIONAL ENGINEER LICENSE NO. _____ EXPIRES _____ STATE OF ILLINOIS | | | | | | | | | | | | | | | | | | | | | |

GREWLEY & BIEDERMANN
 PLCS Corporation
 PROFESSIONAL LAND SURVEYORS
 10000 W. 10th Street, Suite 100
 Overland Park, KS 66204
 PHONE: 913.241.1100 FAX: 913.241.1101
 WWW: WWW.GREWLEYANDBIEDERMANN.COM

**PLAT OF SURVEY
 PROPOSED EASEMENTS**



IRON GREEN EASEMENT

THIS PART OF THE SURVEY LIES IN THE NORTHWEST QUARTER OF THE NORTHWEST CORNER OF THE NORTHWEST AND SOUTHWEST CORNERS OF SECTION 16, T4S, R10E, PL. 11TH STREET, THE SOUTH LINE OF WHICH IS 110.00 FEET LONG AND THE WEST LINE IS 110.00 FEET LONG. THE EAST LINE OF THIS PART OF THE SURVEY IS 110.00 FEET LONG AND THE SOUTH LINE IS 110.00 FEET LONG. THE AREA OF THIS PART OF THE SURVEY IS 12,100.00 SQUARE FEET. THE AREA OF THE IRON GREEN EASEMENT IS 1,210.00 SQUARE FEET. THE AREA OF THE IRON GREEN EASEMENT IS 10.00 PERCENT OF THE AREA OF THIS PART OF THE SURVEY.

IRON JAW ROAD EASEMENT

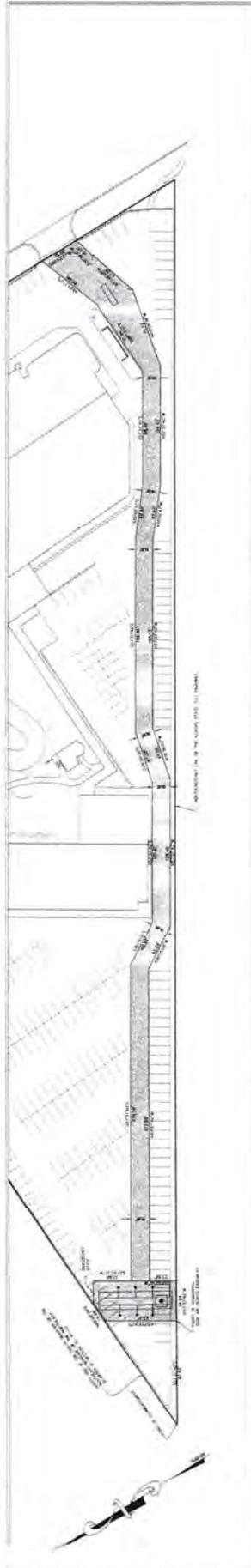
THIS PART OF THE SURVEY LIES IN THE NORTHWEST QUARTER OF THE NORTHWEST CORNER OF THE NORTHWEST AND SOUTHWEST CORNERS OF SECTION 16, T4S, R10E, PL. 11TH STREET, THE SOUTH LINE OF WHICH IS 110.00 FEET LONG AND THE WEST LINE IS 110.00 FEET LONG. THE EAST LINE OF THIS PART OF THE SURVEY IS 110.00 FEET LONG AND THE SOUTH LINE IS 110.00 FEET LONG. THE AREA OF THIS PART OF THE SURVEY IS 12,100.00 SQUARE FEET. THE AREA OF THE IRON JAW ROAD EASEMENT IS 1,210.00 SQUARE FEET. THE AREA OF THE IRON JAW ROAD EASEMENT IS 10.00 PERCENT OF THE AREA OF THIS PART OF THE SURVEY.

SIGN EASEMENT DETAILS



THIS PART OF THE SURVEY LIES IN THE NORTHWEST QUARTER OF THE NORTHWEST CORNER OF THE NORTHWEST AND SOUTHWEST CORNERS OF SECTION 16, T4S, R10E, PL. 11TH STREET, THE SOUTH LINE OF WHICH IS 110.00 FEET LONG AND THE WEST LINE IS 110.00 FEET LONG. THE EAST LINE OF THIS PART OF THE SURVEY IS 110.00 FEET LONG AND THE SOUTH LINE IS 110.00 FEET LONG. THE AREA OF THIS PART OF THE SURVEY IS 12,100.00 SQUARE FEET. THE AREA OF THE SIGN EASEMENT IS 1,210.00 SQUARE FEET. THE AREA OF THE SIGN EASEMENT IS 10.00 PERCENT OF THE AREA OF THIS PART OF THE SURVEY.

UTILITY EASEMENT DETAILS



ACCESS ROAD EASEMENT DETAILS

THIS PART OF THE SURVEY LIES IN THE NORTHWEST QUARTER OF THE NORTHWEST CORNER OF THE NORTHWEST AND SOUTHWEST CORNERS OF SECTION 16, T4S, R10E, PL. 11TH STREET, THE SOUTH LINE OF WHICH IS 110.00 FEET LONG AND THE WEST LINE IS 110.00 FEET LONG. THE EAST LINE OF THIS PART OF THE SURVEY IS 110.00 FEET LONG AND THE SOUTH LINE IS 110.00 FEET LONG. THE AREA OF THIS PART OF THE SURVEY IS 12,100.00 SQUARE FEET. THE AREA OF THE ACCESS ROAD EASEMENT IS 1,210.00 SQUARE FEET. THE AREA OF THE ACCESS ROAD EASEMENT IS 10.00 PERCENT OF THE AREA OF THIS PART OF THE SURVEY.

GREWLEY & BIEDERMANN
 PLCS Corporation
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 Overland Park, KS 66204
 PHONE: 913.241.1100 FAX: 913.241.1101
 WWW: WWW.GREWLEYANDBIEDERMANN.COM

2017-19236-001
 2 OF 2

AFFIDAVIT OF MAILING

I, Carmen Rossi (City Lake Law) representing Hotel Mannheim Group do hereby swear that a Notice of Petition was mailed to all nearby homeowners or businesses surrounding 6810 Mannheim Road, Rosemont, IL.

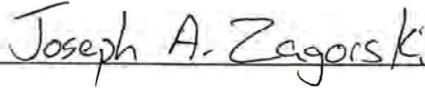
The Notice of Petition was mailed on March 24th, 2021 from the mail box at 110 W Hubbard Street, Chicago, IL.

Signature _____



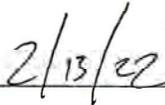
Carmen Rossi
City Lake Law
110 W Hubbard Street
Chicago, IL 60654

Sworn in front of me _____

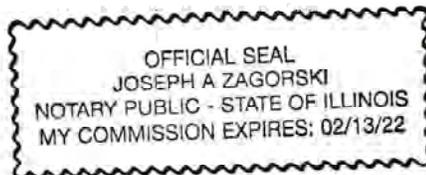
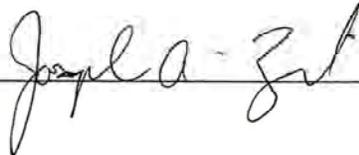


On March 24th, 2021.

My commission ends on: _____



My name: _____



ATTACHMENT 3

**List of Property Owners
Within 250' of the Site**

09-32-203-005-0000
HOTEL MANNHEIM CHGO LL
6810 MANNHEIM RD
ROSEMONT, IL 60018

09-32-205-014-0000
EXEMPT

09-32-206-007-0000
EXEMPT

09-32-206-012-0000
EXEMPT

09-32-206-013-0000
EXEMPT

09-32-206-014-0000
EXEMPT

09-32-206-016-0000
EXEMPT

09-32-206-017-0000
TAXPAYER OF
6810 MANNHEIM RD
ROSEMONT, IL 60018

09-32-207-005-0000
EXEMPT

09-32-207-025-0000
EXEMPT

09-32-207-026-0000
EXEMPT

09-32-207-027-0000
EXEMPT

09-32-207-028-0000
PEACOCK OIL CO
115 GAYLORD ST
ELK GROVE VL, IL 60007

09-32-207-038-0000
EXEMPT

09-32-207-039-0000
EXEMPT

09-32-207-040-0000
EXEMPT

09-32-211-004-0000
EXEMPT

09-32-211-005-0000
EXEMPT

09-32-211-006-0000
EXEMPT

09-32-211-007-0000
EXEMPT

09-32-211-009-0000
DEVELOPMENT RESOURCES
333 N DESPLAINES ST
CHICAGO, IL 60661

09-32-212-001-0000
EXEMPT

09-32-212-002-0000
EXEMPT

09-32-212-003-0000
EXEMPT

09-32-212-004-0000
EXEMPT

09-32-212-015-0000
TAXPAYER OF
6810 MANNHEIM ROAD
ROSEMONT, IL 60018

09-32-401-018-0000
ROSEMONT O'HARE HOTEL
333 NORTH DESPLAINES S
CHICAGO, IL 60661

09-32-401-019-0000
ROSEMONT O'HARE HOTEL
333 NORTH DESPLAINES S
CHICAGO, IL 60661

09-33-108-008-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-009-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-010-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-011-0000
JOHN IMREIBE
2711 MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-012-0000
CAFE LA CAVE
2777 S MANHEIM RD
DES PLAINES, IL 60018

09-33-108-013-0000
CAFE LA CAVE
2777 S MANHEIM RD
DES PLAINES, IL 60018

09-33-108-014-0000
CAFE LA CAVE
2777 S MANHEIM RD
DES PLAINES, IL 60018

09-33-108-022-0000
CAFE LA CAVE RS JS GAR
2777 S MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-023-0000
CAFE LA CAVE RE JS GAR
2777 S MANNHEIM RD
DES PLAINES, IL 60018

09-33-108-024-0000
2655 AC LLC
15941 S HARLEM AVE 108
TINLEY PARK, IL 60477

09-33-109-062-0000
RAY MARIA BAHAMON
2725 GRECO LANE
DES PLAINES, IL 60018

09-33-109-063-0000
ARUCH POONSAPAYA
1666 FARWELL AVE
DES PLAINES, IL 60018

09-33-110-034-0000
CTLTC 8002381617
1665 FARWELL AVE
DES PLAINES, IL 60018

09-33-300-001-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-002-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-003-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-004-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-005-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-006-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-007-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-008-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-300-009-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-301-008-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER RD #4
ROSEMONT, IL 60018

09-33-301-011-0000
EXEMPT

09-33-301-012-0000
EXEMPT

09-33-301-014-0000
NCB DEVELOPMENT XXVIII
6111 N RIVER ROAD #4
ROSEMONT, IL 60018

09-33-301-013-0000
EXEMPT

09-33-305-024-0000
CITY OF DES PLAINES
1420 MINER ST
DES PLAINES, IL 60016

09-33-305-025-0000
CITY OF DES PLAINES
1420 MINER ST
DES PLAINES, IL 60016

09-33-305-027-0000
EXEMPT

09-32-211-001-0000
EXEMPT

09-32-211-002-0000
EXEMPT

09-32-211-008-0000
EXEMPT

09-32-210-010-0000
EXEMPT
OHARE FIELD

09-32-210-017-0000
EXEMPT
OHARE FIELD



RealInfo

The Power of Information

Tax Payer Address Label

Create Labels

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Select View

PostCards

Search Criteria: Find pins 09322030050000 -- 09322030059999 ,09322050140000 -- 09322050149999 ,09322060070000 -- 09322060079999 ,09322060120000 -- 09322060149999 ,09322060160000 -- 09322060179999 ,09322070050000 -- 09322070059999 ,09322070250000 -- 09322070289999 ,09322070380000 -- 09322070409999 ,09322100100000 -- 09322100109999 ,09322100170000 -- 09322100179999 ,09322110010000 -- 09322110029999 ,09322110040000 -- 09322110099999 ,09322120010000 -- 09322120049999 ,09322120150000 -- 09322120159999 ,09324010180000 -- 09324010199999 ,09331080080000 -- 09331080149999 ,09331080220000 -- 09331080249999 ,09331090620000 -- 09331090639999 ,09331100340000 -- 09331100349999 ,09333000010000 -- 09333000099999 ,09333010080000 -- 09333010149999 ,09333050240000 -- 09333050259999 ,09333050270000 -- 09333050279999

Properties

Found : 56

- 1)  **RealInfo LLC**
Zoning Search
09-32-203-005-0000

Owner Name: SHERATON BLACKSTONE CORP,SHERATON BLACKSTON CORP
Site Address: 6810 N MANNHEIM RD ROSEMONT IL ,
Tax Payer Name: HOTEL MANNHEIM CHGO LL
Tax Payer Address: 6810 MANNHEIM RD ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,575,000 **Sale Date:** 2/11/1982
Document #: 26142384 - DEED OF SALE

- 2)  **RealInfo LLC**
Zoning Search
09-32-205-014-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A **Sale Date:**
Document #: -

- 3)  **RealInfo LLC**
Zoning Search
09-32-206-007-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A **Sale Date:**
Document #: -

- 4)  **RealInfo LLC**
Zoning Search
09-32-206-012-0000

Owner Name:
Site Address: IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A **Sale Date:**
Document #: -

- 5) **Owner Name:**

- 
 RealInfo LLC
 Zoning Search
 09-32-206-013-0000
- Site Address: IL,
 Tax Payer Name:
 Tax Payer Address : 0
 Telephone #: N/A
 Sale Amount: N/A Sale Date:
 Document #: -
-
- 6)
 
 RealInfo LLC
 Zoning Search
 09-32-206-014-0000
- Owner Name:
 Site Address: IL,
 Tax Payer Name:
 Tax Payer Address : 0
 Telephone #: N/A
 Sale Amount: N/A Sale Date:
 Document #: -
-
- 7)
 
 RealInfo LLC
 Zoning Search
 09-32-206-016-0000
- Owner Name: GREATER CAPITAL CORP (UND 37.4% INT),
 Site Address: 6810 N MANNHEIM RD ROSEMONT IL,
 Tax Payer Name:
 Tax Payer Address : 0
 Telephone #: N/A
 Sale Amount: N/A Sale Date: 1/15/1986
 Document #: 86020594 - QUIT CLAIM DEED
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- 8)
 
 RealInfo LLC
 Zoning Search
 09-32-206-017-0000
- Owner Name: HOTEL MANNHEIM CHICAGO LLC,
 Site Address: 6810 N MANNHEIM RD ROSEMONT IL 60018,
 Tax Payer Name: TAXPAYER OF
 Tax Payer Address : 6810 MANNHEIM RD ROSEMONT IL 60018
 Telephone #: N/A
 Sale Amount: \$5,080,000 Sale Date: 9/12/2012
 Document #: 1225601094 - SPECIAL WARRANTY DEED
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- 9)
 
 RealInfo LLC
 Zoning Search
 09-32-207-005-0000
- Owner Name:
 Site Address: IL,
 Tax Payer Name:
 Tax Payer Address : 0
 Telephone #: N/A
 Sale Amount: N/A Sale Date:
 Document #: -
-
- 10)
 
 RealInfo LLC
 Zoning Search
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- Owner Name:
 Site Address: IL,
 Tax Payer Name:
 Tax Payer Address : 0
 Telephone #: N/A
 Sale Amount: N/A Sale Date:
 Document #: -
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- 11)
 
 RealInfo LLC
 Zoning Search
 09-32-207-026-0000
- Owner Name: THE VILLAGE OF ROSEMONT,
 Site Address: IL,
 Tax Payer Name:
 Tax Payer Address : 0
 Telephone #: N/A
 Sale Amount: N/A Sale Date: 9/30/1974
 Document #: 22862221 - WARRANTY DEED
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- 12)
 
 RealInfo LLC
 Zoning Search
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- Owner Name:
 Site Address: IL,
 Tax Payer Name:
 Tax Payer Address : 0
 Telephone #: N/A
 Sale Amount: N/A Sale Date:
 Document #: -
-
- 13)
 
 RealInfo LLC
 Zoning Search
 09-32-207-028-0000
- Owner Name:
 Site Address: IL,
 Tax Payer Name: PEACOCK OIL CO
 Tax Payer Address : 115 GAYLORD ST ELK GROVE VL IL 60007
 Telephone #: N/A
 Sale Amount: N/A Sale Date:
 Document #: -
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- 14)
 
 RealInfo LLC
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 09-32-207-038-0000
- Owner Name:
 Site Address: IL,
 Tax Payer Name:
 Tax Payer Address : 0
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Document #: -

15) 
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Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

16) 
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Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

17) 
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Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

18) 
ReallInfo LLC
Zoning Search
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Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

19) 
ReallInfo LLC
Zoning Search
09-32-211-006-0000
Owner Name: FIRST BK OF OAK PARK UTA DTD NOV/00/74,
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/30/1975
Document #: 22981232 - DEED IN TRUST

20) 
ReallInfo LLC
Zoning Search
09-32-211-007-0000
Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

21) 
ReallInfo LLC
Zoning Search
09-32-211-009-0000
Owner Name: ROSEMONT O'HARE HOTEL PROPERTIES LLC,
Site Address: 6600 N MANNHEIM RD ROSEMONT IL 60018,
Tax Payer Name: DEVELOPMENT RESOURCES
Tax Payer Address : 333 N DESPLAINES ST CHICAGO IL 60661
Telephone #: N/A
Sale Amount: N/A Sale Date: 6/15/2005
Document #: 516632036 - QUIT CLAIM DEED

22) 
ReallInfo LLC
Zoning Search
09-32-212-001-0000
Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

23) 
ReallInfo LLC
Zoning Search
09-32-212-002-0000
Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

24) Owner Name:
Site Address: IL,
Tax Payer Name:


RealInfo LLC
Zoning Search
09-32-212-003-0000

Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

25) 
RealInfo LLC
Zoning Search
09-32-212-004-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

26) 
RealInfo LLC
Zoning Search
09-32-212-015-0000

Owner Name: SHERATON BLACKSTONE CORP, SHERATON BLACKSTON CORP
Site Address: 6810 N MANNHEIM RD ROSEMONT IL 60018,
Tax Payer Name: TAXPAYER OF
Tax Payer Address : 6810 MANNHEIM ROAD ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,575,000 Sale Date: 2/11/1982
Document #: 26142384 - DEED OF SALE

27) 
RealInfo LLC
Zoning Search
09-32-401-018-0000

Owner Name:
Site Address:
Tax Payer Name: ROSEMONT O'HARE HOTEL
Tax Payer Address : 333 NORTH DESPLAINES S CHICAGO IL 60661
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

28) 
RealInfo LLC
Zoning Search
09-32-401-019-0000

Owner Name:
Site Address:
Tax Payer Name: ROSEMONT O'HARE HOTEL
Tax Payer Address : 333 NORTH DESPLAINES S CHICAGO IL 60661
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

29) 
RealInfo LLC
Zoning Search
09-33-108-008-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

30) 
RealInfo LLC
Zoning Search
09-33-108-009-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

31) 
RealInfo LLC
Zoning Search
09-33-108-010-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

32) 
RealInfo LLC
Zoning Search
09-33-108-011-0000

Owner Name: DES PLAINES CAR WASH MANAGEMENT LLC,
Site Address: 2711 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: JOHN IMREIBE
Tax Payer Address : 2711 MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/27/2011
Document #: 1102718045 - QUIT CLAIM DEED

33) 
RealInfo LLC
Zoning Search

Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2733 N MANNHEIM RD DES PLAINES IL,
Tax Payer Name: CAFE LA CAVE
Tax Payer Address : 2777 S MANHEIM RD DES PLAINES IL 60018
Telephone #: N/A

09-33-108-012-0000 Sale Amount: N/A Sale Date: 1/8/1997
Document #: 97016606 - DEED OF SALE

34)  Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2733 N MANNHEIM RD DES PLAINES IL,
Tax Payer Name: CAFE LA CAVE
Tax Payer Address : 2777 S MANHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/8/1997
Document #: 97016606 - DEED OF SALE

ReallInfo LLC
Zoning Search
09-33-108-013-0000

35)  Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2733 N MANNHEIM RD DES PLAINES IL,
Tax Payer Name: CAFE LA CAVE
Tax Payer Address : 2777 S MANHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/8/1997
Document #: 97016606 - DEED OF SALE

ReallInfo LLC
Zoning Search
09-33-108-014-0000

36)  Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2777 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: CAFE LA CAVE RS JS GAR
Tax Payer Address : 2777 S MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/8/1997
Document #: 97016607 - DEED IN TRUST

ReallInfo LLC
Zoning Search
09-33-108-022-0000

37)  Owner Name: BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96,
Site Address: 2777 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: CAFE LA CAVE RE JS GAR
Tax Payer Address : 2777 S MANNHEIM RD DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 1/8/1997
Document #: 97016607 - DEED IN TRUST

ReallInfo LLC
Zoning Search
09-33-108-023-0000

38)  Owner Name: 2655 AC LLC,
Site Address: 2655-95 S MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: 2655 AC LLC
Tax Payer Address : 15941 S HARLEM AVE 108 TINLEY PARK IL 60477
Telephone #: N/A
Sale Amount: \$4,058,500 Sale Date: 5/1/2017
Document #: 1712139154 - SPECIAL WARRANTY DEED

ReallInfo LLC
Zoning Search
09-33-108-024-0000

39)  Owner Name: BAHAMON MARIA G,BAHAMON RAY
Site Address: 2725 GRECO LN DES PLAINES IL 60018,
Tax Payer Name: RAY MARIA BAHAMON
Tax Payer Address : 2725 GRECO LANE DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 9/20/1989
Document #: 89443511 - WARRANTY DEED

ReallInfo LLC
Zoning Search
09-33-109-062-0000

40)  Owner Name: POONSAPAYA ARUCH,
Site Address: 1666 FARWELL AV DES PLAINES IL 60018,
Tax Payer Name: ARUCH POONSAPAYA
Tax Payer Address : 1666 FARWELL AVE DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: \$210,000 Sale Date: 4/8/2011
Document #: 1109849015 - WARRANTY DEED

ReallInfo LLC
Zoning Search
09-33-109-063-0000

41)  Owner Name: CHICAGO TITLE LAND TRUST COMPANY,TRUST NUMBER 8002381517
Site Address: 1665 FARWELL AV DES PLAINES IL 60018,
Tax Payer Name: CTLTC 8002381617
Tax Payer Address : 1665 FARWELL AVE DES PLAINES IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date: 8/29/2019
Document #: 1924106028 - DEED IN TRUST

ReallInfo LLC
Zoning Search
09-33-110-034-0000

42)  Owner Name: LA QUINTA PROPERTIES INC,
Site Address: 2811 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$434,500 Sale Date: 1/2/2003
Document #: 30004840 - DEED OF SALE

ReallInfo LLC
Zoning Search
09-33-300-001-0000

Owner Name:

- 43)  ReallInfo LLC
Zoning Search
09-33-300-002-0000
- Site Address: 2811 W MANNHEIM DR DES PLAIENTS IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -
-
- 44)  ReallInfo LLC
Zoning Search
09-33-300-003-0000
- Owner Name:
Site Address: 4721 W LAKE ST MELROSE PARK IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -
-
- 45)  ReallInfo LLC
Zoning Search
09-33-300-004-0000
- Owner Name: IMAGE DES PLAINES LLC,
Site Address: 2811 N MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$500,000 Sale Date: 1/8/2019
Document #: 1900822021 - SPECIAL WARRANTY DEED
-
- 46)  ReallInfo LLC
Zoning Search
09-33-300-005-0000
- Owner Name: IMAGE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$500,000 Sale Date: 1/8/2019
Document #: 1900822021 - SPECIAL WARRANTY DEED
-
- 47)  ReallInfo LLC
Zoning Search
09-33-300-006-0000
- Owner Name: LA QUINTA PROPERTIES INC,
Site Address: 2811 N MANNHEIM RD DES PLAINES IL 60018,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$434,500 Sale Date: 1/2/2003
Document #: 30004840 - DEED OF SALE
-
- 48)  ReallInfo LLC
Zoning Search
09-33-300-007-0000
- Owner Name:
Site Address: 4721 W LAKE ST MELROSE PARK IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -
-
- 49)  ReallInfo LLC
Zoning Search
09-33-300-008-0000
- Owner Name: PROMINENCE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,050,000 Sale Date: 1/3/2019
Document #: 1900313033 - SPECIAL WARRANTY DEED
-
- 50)  ReallInfo LLC
Zoning Search
09-33-300-008-0000
- Owner Name: PROMINENCE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,050,000 Sale Date: 1/3/2019
Document #: 1900313033 - SPECIAL WARRANTY DEED
-
- 51)  ReallInfo LLC
Zoning Search
09-33-301-008-0000
- Owner Name: PROMINENCE DES PLAINES LLC,
Site Address: 2811 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER RD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$2,050,000 Sale Date: 1/3/2019
Document #: 1900313033 - SPECIAL WARRANTY DEED
-
- 52)  ReallInfo LLC
Zoning Search
09-33-301-011-0000
- Owner Name:
Site Address: 2845 MANNHEIM RD DES PLAINES IL ,
Tax Payer Name: 0
Tax Payer Address :
Telephone #: N/A
Sale Amount: N/A Sale Date:

Document #: -

53)



ReallInfo LLC
Zoning Search
09-33-301-012-0000

Owner Name:
Site Address: IL,
Tax Payer Name:
Tax Payer Address :
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

54)



ReallInfo LLC
Zoning Search
09-33-301-014-0000

Owner Name: LA QUINTA PROPERTIES INC,
Site Address: S/SE CRNR PRATT AV & ORCHARD PL DES PLAINES IL 60018,
Tax Payer Name: NCB DEVELOPMENT XXVIII
Tax Payer Address : 6111 N RIVER ROAD #4 ROSEMONT IL 60018
Telephone #: N/A
Sale Amount: \$681,500 Sale Date: 1/2/2003
Document #: 30004842 - DEED OF SALE

55)



ReallInfo LLC
Zoning Search
09-33-305-024-0000

Owner Name:
Site Address: IL,
Tax Payer Name: CITY OF DES PLAINES
Tax Payer Address : 1420 MINER ST DES PLAINES IL 60016
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

56)



ReallInfo LLC
Zoning Search
09-33-305-025-0000

Owner Name:
Site Address: IL,
Tax Payer Name: CITY OF DES PLAINES
Tax Payer Address : 1420 MINER ST DES PLAINES IL 60016
Telephone #: --
Sale Amount: N/A Sale Date:
Document #: -

CHICAGO SUN *TIMES

Thursday, March 25, 2021

Transaction Type: **Payment**
 Order Number: **0001123402**
 Payment Method: **Credit Card**
 Bad Debt: **-**
 Credit Card Number: *******8007**
 Credit Card Expire Date: **11/28/2024**
 Payment Amount: **\$384.00**
 Reference Number: **227197**
 Charge to Company: **Sun Times Media**
 Category: **Classified**
 Credit to Transaction Number: **P499020**

Invoice Text:
Invoice Notes:

Customer Type: **Private Party**
 Customer Category: **Individual**
 Customer Status:
 Customer Group: **Classified**
 Customer Trade: **Classified**
 Account Number: **100290779**
 Phone Number: **8475255577**
 Company / Individual: **Individual**
 Customer Name: **SAMSON DAWN**
 Customer Address: **110 HUBBARD ST**
CHICAGO IL 60654 USA
 Check Number:
 Routing Number:

NOTICE OF PETITION

Dear Property Owner

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The Variance is being requested so that the existing, vacant hotel on location can be remodeled into a new La Quinta Hotel and seeking Variance to use existing drainage on site. There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

Copies of the full Petition of Variance may be obtained by contacting Hotel Mannheim Group representative, Aberdeen Construction via phone at 773-930-4150.

Upon request, any and all documents concerning this Petition for Variance will be made available for inspection at the Development location noted above.

Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago
Clerk of the District
100 East Erie Street
Chicago, IL 606011

Hotel Mannheim Group

NOTICE OF PETITION

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance for relief from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

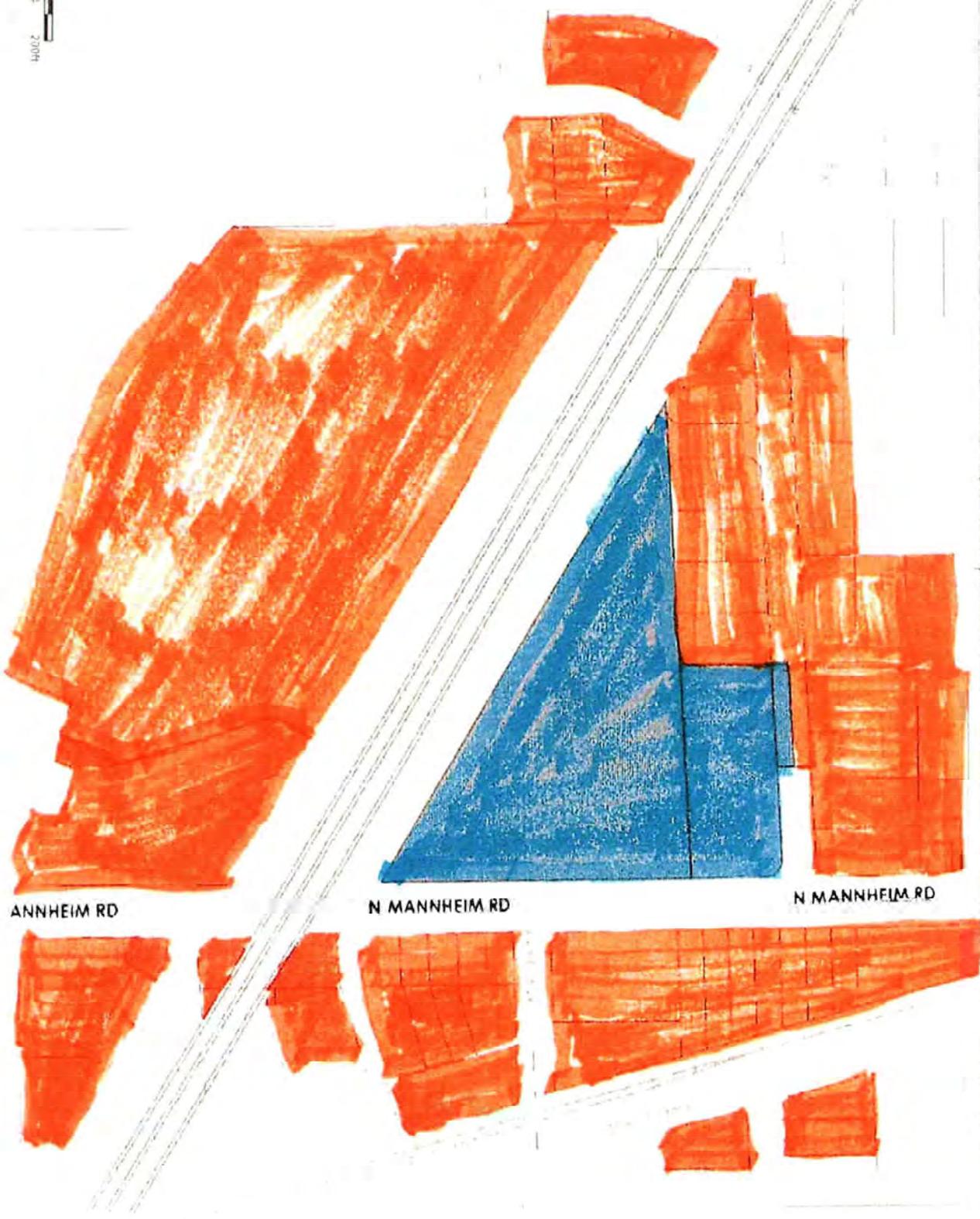
Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago
Clerk of the District
100 East Erie Street
Chicago, IL 606011

Hotel Mannheim Group,

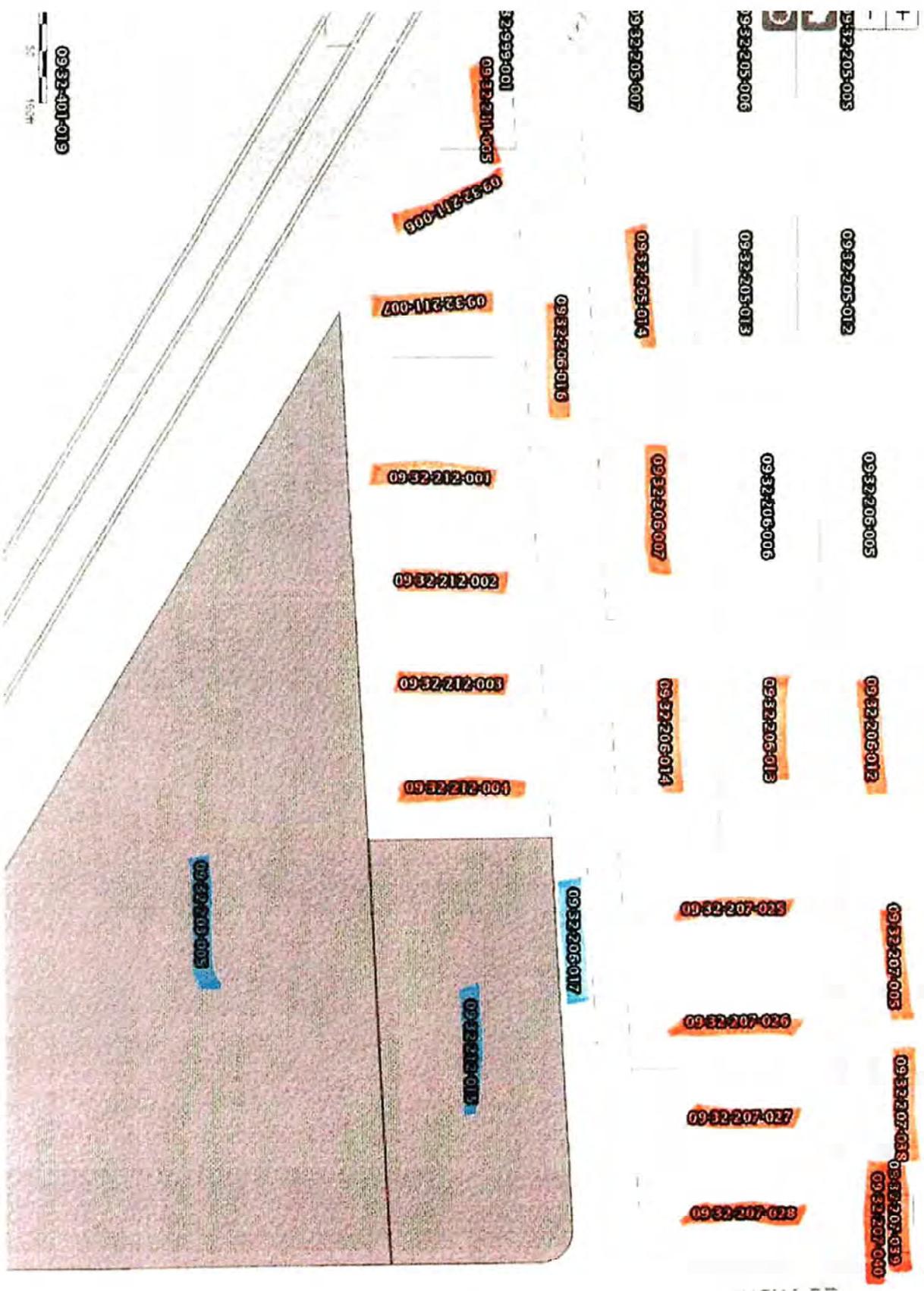
199 2004



Client Map

Overview Lot 7

Client Map Northwest 2 of 7



Client Map Northeast 3 of 7

09-32-207-005
09-32-207-008
09-32-207-009
09-32-207-010

09-32-207-025
09-32-207-026
09-32-207-027
09-32-207-028

09-32-206-017

09-32-210-015

09-32-202-015

N MANNHEIM RD

09-33-108-021

09-33-108-008

09-33-108-009

09-33-108-010

09-33-108-011

09-33-108-012

09-33-108-013

09-33-108-014

09-33-108-022

09-33-108-020

09-33-109-058

09-33-109-057

09-33-109-062

09-33-109-063

09-33-109-059

09-33-109-060

09-33-109-068

09-33-109-061

09-33-110-031

09-33-110-035

09-33-110-038

09-33-110-037

09-33-110-020

09-33-110-041

09-33-109-049

09-33-109-041

09-33-110-021

09-33-110-022

09-33-110-005

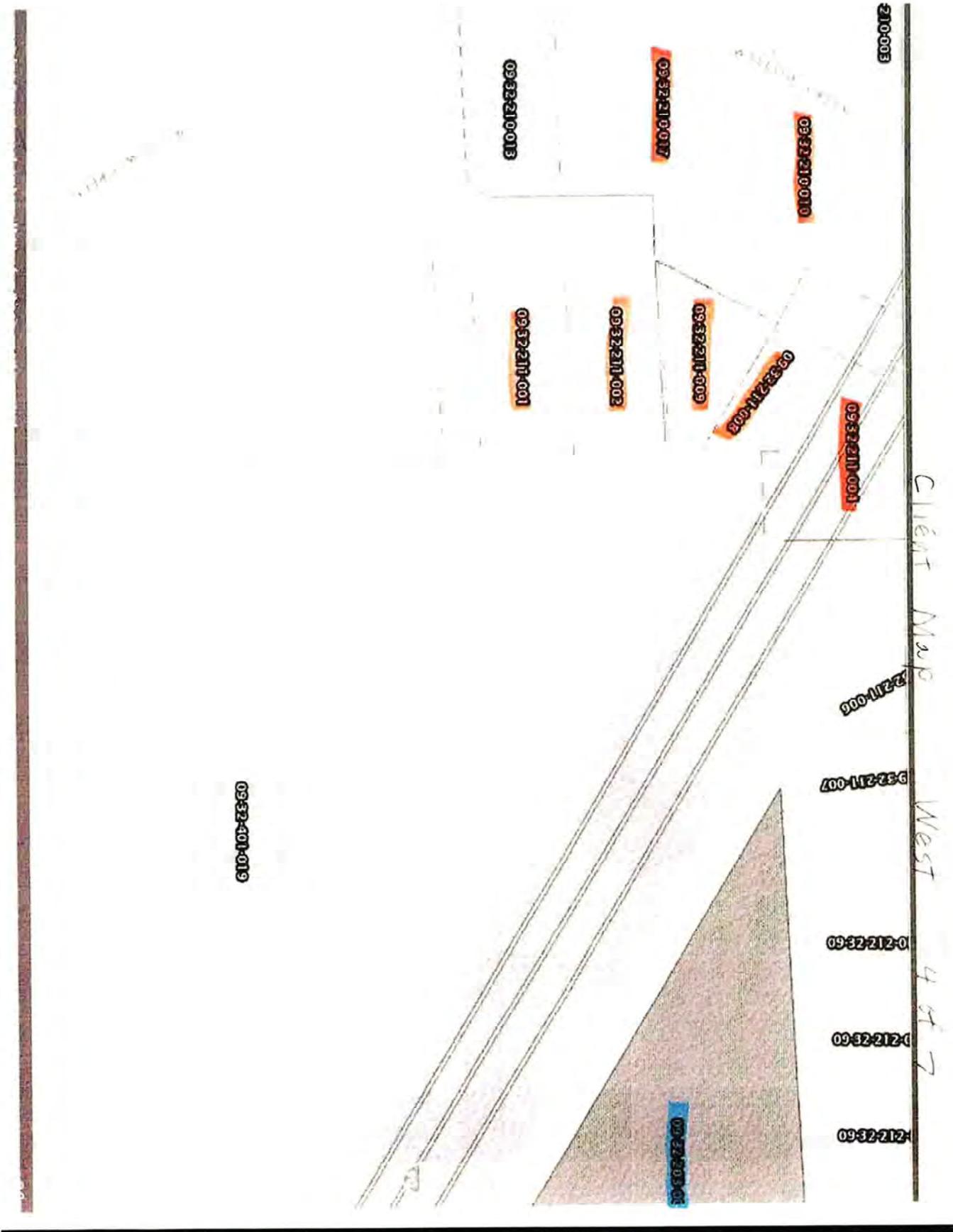
PRATT AVE

GRECO AVE

09-33-500-006

09-33-307-005

100ft



2730 40702

09-32-401-019

Cirent Ave

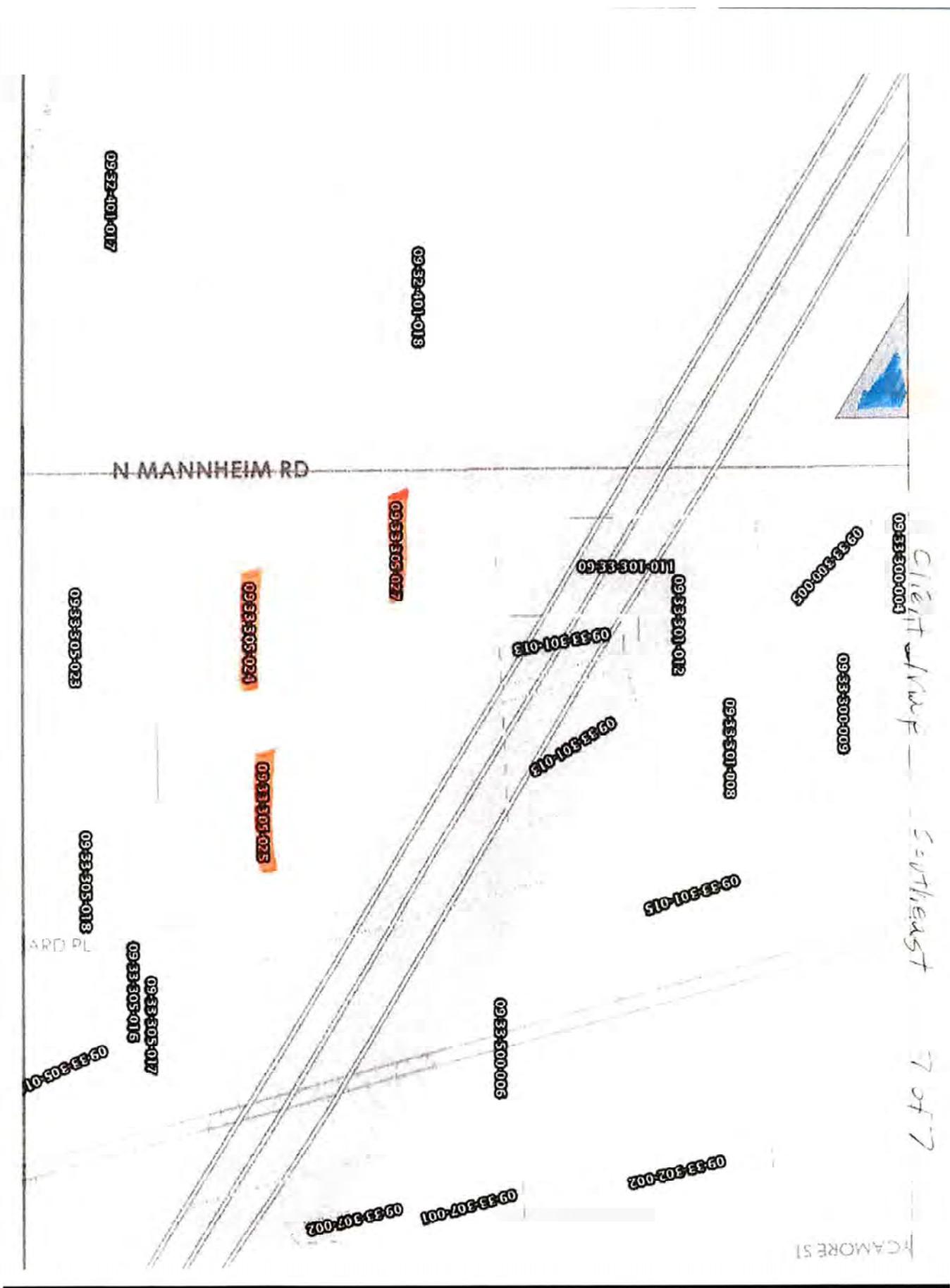
Southwest

5 of 7

09-32-401-017

09-32-401-018

MANHEIM RD



8/11/2020

Brett Duffy, P.E.
SPACECO, Inc.
9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Email: bduffy@spacecoinc.com

Dear Mr. Duffy:

Subject: WMO Permit Application No.: 20-172 Review Letter No.: 1
 Name of Project: 6810 Mannheim Road Development
 Municipality: Rosemont

Review of the subject application, drawings, and supporting documentation has been completed. The items listed below must be addressed prior to issuance of a permit.

General Comments:

1. Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance.
2. This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.
3. Additional fees are required for detention review and the recordation deposit. Submit an updated fee payment voucher and check for the remaining fees.

Permit Application:

4. Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.
5. Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

Plans:

6. Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.
7. Sheet 2: Revise General Note 4 or mark the plans "For Construction".

1 of 2

8. Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.
9. Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.
10. Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.
11. Provide the MWRD General Notes as part of the plan set.
12. Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.
13. Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.

Please revise the permit application, plans, and supporting documentation accordingly, submit two (2) copies of the revised permit application pages, two (2) complete sets of revised plans, and a written response addressing each of the above items within 30 days. Permit applications will not be kept open indefinitely. The permit application may be canceled by the District if a resubmittal has not been received within 90 days, following the first review letter (WMO §1401.3.B). In addition, the permit application may be canceled by the District if meaningful compliance progress is not made within 180 days following the first review letter.

If there are any questions, please email me at cunicom@mwrdd.org.

Respectfully,
Michael Cunico

Michael Cunico, P.E.
Associate Civil Engineer



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

October 9, 2020

Michael Cunico, P.E.
Metropolitan Water Reclamation
District of Greater Chicago
Local Sewer Systems Section
111 East Erie Street, Sixth Floor
Chicago, IL 60611

**RE: MWRD PERMIT NO.: 20-172
6810 MANNHEIM ROAD DEVELOPMENT
VILLAGE OF ROSEMONT
COOK COUNTY, ILLINOIS
SPACECO PROJECT No: 8055.04**

Dear Mr. Cunico:

On behalf of our Client, we are submitting the revised documents for the MWRDGC Sewerage System Permit for the proposed site improvement plans for the proposed 6810 Mannheim Road development located in the Village of Rosemont, Illinois. Enclosed for your review and comment are:

Enclosed for your review and comment are:

1. Two (2) copies of the revised MWRD Permit Application Sheets including Schedule P
2. Two (2) sets of the Site Improvement Plans for 6810 Mannheim Road Development signed and sealed dated June 8, 2020, last revised October 9, 2020
3. Two (2) copies of the revised Stormwater Management Report dated October 2020

Attached are our responses to your review comments dated August 11, 2020.

Sincerely,

SPACECO, Inc.

Brett Duffy, P.E.
Principal

cc: John Li, Eric Chang – Hotel Mannheim Chicago, LLC
Daniel Lynch, Mark Wrzeszcz - CBBEL
Matt Murphy, Joe Lewis – SPACECO, Inc.

W:\Projects\8055\8055.04\PERMITS\MWRD\8055.04-LTR-MWRDGC-CR-2020-1009.doc

GENERAL COMMENTS:

COMMENT 1: Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance.

RESPONSE 1: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

COMMENT 2: This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.

RESPONSE 2: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

COMMENT 3: Additional fees are required for detention review and the recordation deposit. Submit an updated fee payment voucher and check for the remaining fees.

RESPONSE 3: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

PERMIT APPLICATION:

COMMENT 4: Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.

RESPONSE 4: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. The box has been unchecked for Schedule K on the permit application's cover sheet.

COMMENT 5: Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

RESPONSE 5: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. Schedule P, Items 1.C and 1.D have been left unchecked and NA per the variance request above. Schedule P, Item 2.A, Entrance/Exit Control, has been checked and the stabilized entrance is shown at the south entrance of the site with the applicable Notes. A concrete washout is located at the south side of the site near the parking lot improvements with the applicable notes.

PLANS:

COMMENT 6: Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.

RESPONSE 6: A Drainage Certificate has been included on Sheet C1 (Cover Sheet)

COMMENT 7: Sheet 2: Revise General Note 4 or mark the plans "For Construction".

RESPONSE 7: Sheet 2, General Note 4 has been revised to exclude the statement, "NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION"."

COMMENT 8: Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.

RESPONSE 8: All storm sewer proposed to be 10-inch pipe has been revised to 10-inch DIP. The minimum cover over the 10-inch DIP pipe is 0.8725-feet (10.5-inches) which is sufficient cover over DIP. Catch basins that have less than 2-feet of cover over the pipe have been revised from a Type A catch basin to a Type C catch basin allowing for a frame on structure. The structures revised include CB-204 and CB-208.

COMMENT 9: Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.

RESPONSE 9: The upstream invert of the existing sanitary sewer is inconclusive currently and the proposed crossing location and elevation is approximate. The contractor will need to expose the existing sanitary sewer and confirm location and elevation. After verification the siphon will remain or be revised as necessary. Increasing slope will create cover

issues upstream and reducing the slope will not provide the necessary clearance for the crossing. A siphon detail has been added to Sheet UT1

COMMENT 10: Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.

RESPONSE 10: The IP identifier has been added to the Symbol Legend on Sheet SE3 and delineates a catch-all/inlet protection. The construction entrance/exit control will be up to the means and methods of the contractor. The contractor shall utilize the existing accesses as necessary and agreed to with the existing users. Notes were added to Sheet SE3 and include the note "...Contractor shall clean parking lot and existing roadway as necessary throughout construction."

COMMENT 11: Provide the MWRD General Notes as part of the plan set.

RESPONSE 11: The MWRD General Notes have been included in the plan set as Sheet SP2.

COMMENT 12: Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.

RESPONSE 12: The Location Map included on the Cover Sheet has been revised to include the storm sewer routing from the proposed site to the existing waterway. There is a 48-inch and 72-inch existing storm sewer running south on Mannheim Road and discharges to the Willow-Higgins Creek.

COMMENT 13: Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.

RESPONSE 13: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

APPENDIX D

Village of Rosemont Engineer Email Dated January 20, 2021

Witek, Adam

From: Cunico, Michael
Sent: Wednesday, January 20, 2021 12:21 PM
To: Durkin, Maureen
Cc: Feltes, Daniel; Gasik, Benjamin
Subject: Fw: 20-172 - 6810 Mannheim Road Development - Rosemont
Attachments: We sent you safe versions of your files; 20210120102022.pdf; 20210120104821.pdf

Maureen,

Please see the email below and the attachments which were received from the Village Engineer. The Village Engineer has made it clear in the email below that the Village did not prepare the second attachment which may have been forwarded to the District as part of a variance submittal.

Michael Cunico, P.E.
Senior Civil Engineer
MWRDGC Local Sewers
815-909-7400

From: Daniel Lynch <dlynch@cbbel.com>
Sent: Wednesday, January 20, 2021 10:54 AM
To: Cunico, Michael <CunicoM@mwr.org>
Cc: Mark Wrzeszcz <mwrzeszcz@cbbel.com>
Subject: RE: 20-172 - 6810 Mannheim Road Development - Rosemont

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Michael

If and when a variance request is submitted by the developer of the above property, we want to clarify that the first attachment to this email was prepared and signed by the Village of Rosemont. The second attachment, which is not on Village letterhead nor signed by the Village, was not prepared by the Village. Both documents were included in a packet provided to this office and reported to be the complete variance submittal document to be submitted to the district. If you have any questions, please feel free to contact me.

Dan

Daniel L. Lynch, PE, CFM

Head, Municipal Engineering Department

Christopher B. Burke Engineering, Ltd.

9575 W. Higgins Road, Suite 600 Rosemont, IL 60018

Phone: (847) 823-0500 Fax: (847) 823-1029

E-Mail: dlynch@cbbel.com

www.cbbel.com



From: Cunico, Michael <CunicoM@mwr.org>
Sent: Tuesday, January 19, 2021 5:06 PM
To: stephensb@villageofrosemont.org; bduffy <bduffy@spacecoinc.com>; usasiagroup@gmail.com

APPENDIX E

Petition for Variance Fee Payment

INTEROFFICE MEMORANDUM

METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO

DEPARTMENT: Law

DATE: March 31, 2021

TO: Jaqueline Torres, Clerck/Director of Finance
FROM: Susan T. Morakalis, General Counsel *SM*
SUBJECT: Petition for Variance Filing Fee Payment Check
Hotel Mannheim Group (WMO-VP-21-01)

Attached please find check no. 2024 in the amount of \$2000.00 from City Lake Law LLC for payment of the filing fee in the above-referenced petition for variance. Please process this payment accordingly.

Should you have any questions or if you wish to discuss, please contact Senior Attorney Anastasios Foukas by phone (773-307-9350) or email (FoukasA@mwr.org).

JTM:ATF:nl
Attachment

Clerk of the District
APR 01 2021
Metropolitan Water Reclamation
District of Greater Chicago

2-2657/710 2024
City Lake Law LLC
110 W Hubbard Street
Chicago, IL 60654
DATE 3-25-2021
PAY TO THE ORDER OF MWRD \$2,000.00
Two Thousand & _____ DOLLARS
B BELMONT BANK & TRUST
www.belmontbank.com
MEMO 6810 Mannheim Rd 77-
⑆071026576⑆ 3500020437⑈ 2024

101-

Crump, Cynthia

From: Hachim, Mete
Sent: Monday, April 5, 2021 4:24 PM
To: Crump, Cynthia
Cc: Schramm, Michael
Subject: FW: Daily Deposit
Attachments: DD20210405-0.pdf

Importance: High

Cynthia,
I just heard back from the attorney regarding the \$2,000 check from City Lake. I had previously told you to use Miscellaneous Receipts but the attorney provided a different background.

Now, therefore, please make another change to the daily deposit, as follows:

1. Code the \$2,000 check to 501-460270 (Permit Fees)
2. In the text field type City Lake Law/2024/Petition for Variance WMO-VP-21-01
3. Make sure that the commitment item field is correctly updated
4. Also make sure that the fund fields are correctly updated
5. You'll need to change the cash entries to increase the 501 entry by \$2K and decrease the 101 entry by \$2K.

Mete Hachim

Supervising Accountant
MWRDGC
100 East Erie Street, Chicago, IL 60611
hachimm@mwrdd.org
p: 312.751.6516 c: 872.227.6138



From: Crump, Cynthia <CrumpC@mwrdd.org>
Sent: Monday, April 5, 2021 3:52 PM
To: Schramm, Michael <SchrammM@mwrdd.org>

APPENDIX F

No Public Comments Received Email Dated May 5, 2021

Witek, Adam

From: Durkin, Maureen
Sent: Thursday, May 6, 2021 9:10 AM
To: Witek, Adam; Foukas, Anastasios
Subject: FW: WMO-VP-21-01 Hotel Mannheim Group, Rosemont

FYI

From: Torres, Jacqueline <TorresJ@mwr.org>
Sent: Wednesday, May 5, 2021 10:33 PM
To: Durkin, Maureen <DurkinM@mwr.org>; Johnson, Kristen <PociaskK@mwr.org>
Subject: Re: WMO-VP-21-01 Hotel Mannheim Group, Rosemont

Hi Maureen, No comments were received for this petition of variance.

Regards,

Jackie

Get [Outlook for iOS](#)

From: Durkin, Maureen <DurkinM@mwr.org>
Sent: Wednesday, May 5, 2021 5:36:49 PM
To: Torres, Jacqueline <TorresJ@mwr.org>
Subject: WMO-VP-21-01 Hotel Mannheim Group, Rosemont

Hello Jackie,

As you know the subject petition for variance of the WMO has been posted on the District's website and the public comment period ended on 4/16/2021. Comments were to be submitted to the Clerk of the District in writing. Can you confirm that no comments from the public for this petition for variance were received?

Thanks,
Maureen Durkin

APPENDIX G

WMO Permit Application 20-172

WATERSHED MANAGEMENT PERMIT
METROPOLITAN WATER RECLAMATION DISTRICT
OF GREATER CHICAGO
 111 EAST ERIE, CHICAGO, ILLINOIS, 60611

Watershed Management Permit No.

20-172

www.mwrd.org

INSTRUCTIONS FOR COMPLETING PERMIT FORM: Submit two original signed copies of this permit application (nine pages) and any required WMO schedules listed below; do not leave any blank spaces; use "X" for checking applicable information. Also submit two copies of location map and plans. Address all correspondence to the Local Sewer Systems Section; for any inquiries or assistance, telephone (312) 751-3255.

NAME AND LOCATION:

Name of Project (as shown on plans): 6810 Mannheim Road Development

Location of Project (street address or with respect to two major streets): 6810 Mannheim Road, Village of Rosemont, Illinois 60018

Municipality (Township, if unincorporated) Village of Rosemont

Section ³² _____, Township ⁴¹ _____ N, Range ¹² _____ E

PIN (include all PINs for project, use additional sheets if more than two): 09-32-203-005-0000, 09-32-206-017-0000, 09-32-212-015-0000

Check type of sewer area for project: Combined Sewer Area Separate Sewer Area

- | | | |
|---|----------------------------------|---------------|
| <input checked="" type="checkbox"/> Project Information (Required in all cases) | WMO Schedule A | (Page 5 of 9) |
| <input checked="" type="checkbox"/> Sewer Summary (Required in all cases) | WMO Schedule B | (Page 6 of 9) |
| <input checked="" type="checkbox"/> Sewer Connections (Required in all cases) | WMO Schedule C | (Page 7 of 9) |
| <input type="checkbox"/> Detention & Stormwater Management Facilities (WMO) | WMO Schedule D | (3 Pages) |
| <input type="checkbox"/> Detention & Stormwater Management Facilities (Legacy) | WMO Schedule D _{Legacy} | (4 Pages) |
| <input type="checkbox"/> Lift Station and/or Force Main | WMO Schedule E | (2 Pages) |
| <input type="checkbox"/> Characteristics of Waste Discharge | WMO Schedule F | (2 Pages) |
| <input type="checkbox"/> Treatment or Pretreatment Facilities | WMO Schedule G | (2 Pages) |
| <input type="checkbox"/> Hazard Areas (Floodplain / Floodway /Riparian Areas) | WMO Schedule H | (2 Pages) |
| <input type="checkbox"/> Affidavit Relative to Compliance with Article 7 | WMO Schedule J | (1 Page) |
| <input type="checkbox"/> Affidavit of Disclosure of Property Interest | WMO Schedule K | (2 Pages) |
| <input type="checkbox"/> Notice of Requirements for Storm Water Detention | WMO Schedule L | (2 Pages) |
| <input checked="" type="checkbox"/> Current Survey of Property Interests (Attachment for Schedule K or L) | Exhibit A | |
| <input type="checkbox"/> Outfall, Direct Connection, District Owned or Leased Property | WMO Schedule O | (1 Page) |
| <input checked="" type="checkbox"/> Soil Erosion and Sediment Control | WMO Schedule P | (2 Pages) |
| <input type="checkbox"/> Recording and Maintenance | WMO Schedule R | (2 Pages) |
| <input type="checkbox"/> Recording Exhibit (Attachment for Schedule K or L) | Exhibit R | |
| <input type="checkbox"/> Wetlands and Wetland Buffer Areas | WMO Schedule W | (2 Pages) |

Refer to Table 1 of § 201 of Article 2 of Watershed Management Ordinance for applicable Permitting Authority.

OTHER DOCUMENTS: Indicate title, number of pages and originator _____

Site Improvement Plans and Stormwater Management Report for 6810 Mannheim Road Development, originated by SPACECO, Inc.

NOTE: ATTACH FEE PAYMENT VOUCHER AND PAYMENT IF APPLICABLE

DISTRICT USE ONLY

Application received: _____ WMO Permit issued: _____ WRP: _____

Issued by: DISTRICT Authorized Municipality

GENERAL CONDITIONS OF THE PERMIT

1. **Definitions.** The definitions of Appendix A of the Watershed Management Ordinance are incorporated into this Watershed Management Permit by reference. Additionally, the following words and phrases shall be defined as follows:
 - a) **Building and Occupancy Permit.** Building and Occupancy Permit issued by the Municipality.
 - b) **Design Engineer.** A Professional Engineer who prepares plans and specifications for the project, and signs the Watershed Management Permit Application.
 - c) **Inspection Engineer.** A Professional Engineer who inspects the development to ensure compliance with the design plans, specifications, a Watershed Management Permit, and the Watershed Management Ordinance.
 - d) **Permit.** Watershed Management Permit.
 - e) **General Conditions.** General Conditions contained in a Watershed Management Permit.
 - f) **Special Conditions.** Special conditions of this Watershed Management Permit.
2. **Adequacy of Design.** The schedules, plans, specifications and all other data and documents submitted for this Permit are made a part hereof. The Permit shall not relieve the Design Engineer of the sole responsibility for the adequacy of the design. The issuance of this Permit shall not be construed as approval of the concept or construction details of the proposed facilities and shall not absolve the Permittee, Co-Permittee or Design Engineer of their respective responsibilities.
3. **Joint Construction and Operation Permits.** Unless otherwise stated by the Special Conditions, the issuance of this Permit shall be a joint construction and operation permit, provided that the Permittee or Co-Permittee has complied with all General and Special Conditions.
4. **Allowable Discharges.** Discharges into the Sanitary Sewer system constructed under this Permit shall consist of sanitary Sewage only. Unless otherwise stated by the Special Conditions, there shall be no discharge of industrial wastes under this Permit. Stormwater shall not be permitted to enter the Sanitary Sewer system. Without limiting the general prohibition of the previous sentence, roof and footing drains shall not be connected to the Sanitary Sewer system.
5. **Construction Inspection.** All erosion and sediment control facilities, Stormwater Facilities, Detention Facilities, and Qualified Sewer Construction shall be inspected and approved by an Inspection Engineer acting on behalf of the Permittee or the Owner of the project, or by a duly authorized and competent representative of the Inspection Engineer. No sewer trenches shall be backfilled except as authorized by the Inspection

Engineer after having inspected and approved the sewer installation.

6. **Maintenance.** Stormwater Facilities, Detention Facilities, Qualified Sewer Construction, Sanitary Sewer lines, systems or facilities constructed hereunder or serving the facilities constructed hereunder shall be properly maintained and operated at all times in accordance with all applicable requirements. It is understood that the responsibility for maintenance shall run as a joint and several obligation against the Permittee, the Co-Permittee, the property served, the Owner and the operator of the facilities, and said responsibility shall not be discharged nor in any way affected by change of ownership of said property, unless the District has authorized assignment of the permit.
7. **Indemnification.** The Permittee shall be solely responsible for and shall defend, indemnify and hold harmless the Metropolitan Water Reclamation District of Greater Chicago ("District", "MWRD", or "MWRDGC") and its Commissioners, officers, employees, servants, and agents from liabilities of every kind, including losses, damages and reasonable costs, payments and expenses (such as, but not limited to, court costs and reasonable attorneys' fees and disbursements), claims, demands, actions, suits, proceedings, judgments or settlements, any or all of which are asserted by any individual, private entity, or public entity against the District and its Commissioners, officers, employees, servants, or agents and arise out of or are in any way related to the issuance of this Permit. Without limiting the generality of the preceding sentence, the provisions of this paragraph shall extend to indemnify and hold harmless the District and its Commissioners, officers, employees, servants, and agents from any claims or damages arising out of or in connection with the termination or revocation of this Permit.

The Permittee shall be solely responsible for and shall defend, indemnify and hold harmless an Authorized Municipality and its elected officials, officers, employees, servants, and agents from liabilities of every kind, including losses, damages and reasonable costs, payments and expenses (such as, but not limited to, court costs and reasonable attorneys' fees and disbursements), claims, demands, actions, suits, proceedings, judgments or settlements, any or all of which are asserted by any individual, private entity, or public entity against the Authorized Municipality and its elected officials, officers, employees, servants, or agents and arise out of or are in any way related to the issuance of this Permit. Without limiting the generality of the preceding sentence, the provisions of this paragraph shall extend to indemnify and hold harmless the Authorized Municipality and its elected officials, officers, employees, servants, and agents from any claims or damages arising out of or in connection with the termination or revocation of this Permit.

8. **Sewer Construction by District.** Permittee understands and acknowledges that the District has the right and power to construct and extend sewer service facilities and render such services within the area to be served by the project for which this Permit is issued, and that by the District constructing and extending such sewer service facilities and rendering such services, the facilities constructed by the Permittee under this Permit may decrease in value, become useless or of no value whatsoever, the Permittee may also sustain a loss of business, income and profits.

Therefore, by accepting this Permit and acting thereon, the Permittee, for itself, its successors and assigns, does remise, release and forever discharge the District and its Commissioners, officers, employees, servants, and agents of any and all claims whatsoever which Permittee may now have or hereafter acquire and which Permittee's successors and assigns hereafter can, shall, or may have against the District and its Commissioners, officers, employees, servants, and agents for all losses and damages, either direct or indirect, claimed to have been incurred by reason of the construction or extension at any time hereafter by the District of sewer service facilities in the service area contemplated by this Permit, the rendering of such services, which District facilities and services decrease the value of the facilities constructed by the Permittee under this Permit, make same useless or of no value whatsoever, including but not limited to, any and all damages arising under 70 ILCS 2605/19; the taking of private property for public use without due compensation; the interference with the contracts of Permittee; the interference with Permittee's use and enjoyment of its land; and the decrease in value of Permittee's land.

9. **Third Parties.** Regarding Qualified Sewer Construction, this Permit does not grant the right or authority to the Permittee: (a) to construct or encroach upon any lands of the District or of any other parties, (b) to construct outside of the territorial boundaries of the District except as allowed under an extraterritorial service agreement, (c) to construct or encroach upon the territorial boundaries of any units of local government within the District, (d) to connect to or discharge into or be served by (directly or indirectly) any sewer or sewer system owned or operated by third parties.
10. **Costs.** It is expressly stipulated and clearly understood that the Stormwater Facilities, Detention Facilities, Qualified Sewer Construction, or facilities for which the Permit is issued shall be constructed, operated and maintained at no cost to the District.
11. **Other Sewer Construction.** The District reserves the right, privilege and authority to permit others to reconstruct, change, alter and replace all sewers and appurtenances thereto at the point of connection of any sewerage system to a District interceptor and/or in public

right-of-ways of District easements, and to introduce additional Sewage flow through this connection into the intercepting sewer of said District.

12. **Change of Use.** This Permit shall be incorporated in the Building and Occupancy Permit for the Building or Buildings served under this Permit. The Owner or occupant of any Building served under this Permit shall not cause, or permit, a change of use of the Building to a use other than that indicated in this Permit without first having obtained a written permission from the Executive Director of the District.
13. **Interceptors Overloading.** The District hereby serves notice that its interceptors may flow full and may surcharge, and flooding of the proposed system may occur. The Permittee agrees that the proposed systems shall be constructed, operated and maintained at the sole risk of the Permittee.
14. **Transferability.** This Permit may not be assigned or transferred without the written consent of the Executive Director of the District or Enforcement Officer of an Authorized Municipality. However, a Sole Permittee may be required to assign or transfer the Permit when divesting itself of ownership to a third-party and should notify the District prior to such divestment so that the District may determine whether assignment to the new owner is necessary.
15. **Termination.** The District has the right to enforce or revoke a Permit issued by either the District or an Authorized Municipality as outlined in Article 12 of the Watershed Management Ordinance.

It is understood and agreed that in the event the Permittee shall default on or fail to perform and carryout any of the covenants, conditions or provisions of this Permit and such default or violation shall continue for sixty (60) days after receipt of notice thereof in writing given by the Executive Director of the District, then it shall be lawful for the District at or after the expiration of said sixty (60) days to declare said Permit terminated. The Permittee agrees that immediately upon receipt of written notice of such termination it will stop all operations, discontinue any discharges and disconnect the sewerage system or facilities constructed under this Permit. If the Permittee fails to do so, the District shall have the right to disconnect said system. The Permittee hereby agrees to pay for any costs incurred by the District for said disconnection.

16. **Rights and Remedies.** The various rights and remedies of the District contained in this Permit shall be construed as cumulative, and no one of them shall be construed as exclusive of any one or more of the others or exclusive of any other rights or remedies allowed by applicable rules, regulations, ordinances and laws. An election by the District to enforce any one or more of its rights or

remedies shall not be construed as a waiver of the rights of the District to pursue any other rights or remedies provided under the terms and provisions of this Permit or under any applicable rules, regulations, ordinances or laws.

17. **Expiration.** This Permit shall expire if construction has not started within one (1) year from the date of issue. Construction under an expired Permit is deemed construction without a Permit. All construction under this Permit shall be completed within two (2) years after start of construction. If conditions so warrant, an extension may be granted. For publicly financed projects (e.g. special assessments) the one (1) year period indicated will be considered from the date of final court action.
18. **Revocation.** In issuing this Permit, the District or Authorized Municipality has relied upon the statements and representations made by the Permittee or his agent. Any incorrect statements or representations shall be cause for revocation of this Permit, and all the rights of the Permittee hereunder shall immediately become null and void.
19. **Advance Notice.** The Permittee shall give the District or Authorized Municipality advance notice of at least two working days prior to the following: mobilization and installation of Erosion and Sediment Control Practices; commencement of construction; excavation for Qualified Sewer Construction; Major Stormwater Systems and Detention Facilities under this Permit; and completion of construction. When advance notice is given, the Permittee shall provide the Permit number, municipality and location.
20. **Compliance with Plans and Specifications.** All construction shall be in accordance with the plans and specifications submitted for this Permit and made a part hereof. No changes in, or deviation from the plans and specifications which affect capacity, maintenance, design requirements, service area or Permit requirements shall be permitted unless revised plans have been submitted to, and approved by the District or Authorized Municipality. The Permit together with a set of the plans and specifications (revised plans and specifications, if any) shall be kept on the jobsite at all times during construction and until final inspection and approval by the District or Authorized Municipality.
21. **Testing and Approval.** All construction under this Permit shall be subject to inspection, testing and approval by the District. All testing shall be made, or caused to be made, by the Permittee at no cost to the District and in the presence of the District representative. Upon satisfactory completion of construction, the Permittee and the owner shall submit, or cause to be submitted, a completion certificate and request for approval on the form prescribed by the District. No sewer or other facilities shall be put in service until all the conditions of the Permit have been satisfactorily met.
22. **Record Drawings.** Before final inspection and approval by the District or an Authorized Municipality, the Permittee shall furnish, or cause to be furnished to the District or an Authorized Municipality, a set of Record drawings and Schedule R for the site stormwater plan, Detention Facilities, Stormwater Facilities, and Qualified Sewer Construction, or a statement that the project was constructed in accordance with the original plans and specifications.
23. **Compliance with Rules and Regulations.** The Permittee hereby expressly assumes all responsibilities for meeting the requirements of all applicable rules, regulations, ordinances and laws of Local, State and Federal authorities. Issuance of this Permit shall not constitute a waiver of any applicable requirements.
24. **Severability.** The provisions of this Permit are severable, and if any provision of this Permit, or the application of any provision of this Permit, is held invalid, the remaining provisions of this Permit shall continue in full force and effect.
25. **Property Rights.** This Permit does not convey any property rights of any sort, or any exclusive privilege.
26. **Conflict with Other Conditions.** In the case of conflict between these General Conditions and any other condition(s) in this permit, the more stringent condition(s) shall govern.

WMO SCHEDULE A
PROJECT INFORMATION

Watershed Management Permit No.

20-172

1. **NAME OF PROJECT** 6810 Mannheim Road Development
(as shown on the plans)

2. **APPURTENANCES** (check all applicable items)
 Siphon Drop Manholes Public Lift Station Outfalls
(Submit Sch. E) (Submit Sch. O)
 Stream Crossing Direct Connections to District → Describe Not Applicable

3. **RECEIVING SANITARY/COMBINED SEWER SYSTEM**
A. System that project will connect to is:
 Existing Proposed /Under Construction → District Permit # _____
List owners of all sewers from project to District interceptor 21" MWRD Sanitary Sewer along Pratt Street

4. **RECEIVING STORM SEWER SYSTEM TRIBUTARY TO WATERWAY**
A. System that project will connect to is:
 Existing Proposed /Under Construction → District Permit # _____
List owners of all sewers from project to waterway 72" Village of Rosemont Storm Sewer Tributary to Willow-Higgins Creek

5. **EXISTING LIFT STATION**
 No Yes → Receiving system includes existing lift station
If yes, indicate location _____

6. **FLOOD PROTECTION AREAS**
Does any part of the project area impact the following? (check all applicable items)
 Floodplain/Floodway/Riparian Wetlands/Riparian
(Schedule H) (Schedule W)

7. **SIZE OF PROJECT**
Impervious area within project
A. Total contiguous ownership 8.38 acres C. Before development 1.49 acres
B. Development Area 2.00 acres D. After development 1.81 acres

8. **STORMWATER MANAGEMENT**
A. Is project in the service area of an existing District permitted detention facility?
 No Yes → District Permit No. _____
B. Is stormwater management provided under this permit?
 No Yes → Required by: District Other
(Submit Sch. D)
C. Type of stormwater management
 Runoff Control Volume Control Detention Storage

WMO SCHEDULE B SEWER SUMMARY

Watershed Management Permit No.

20-172

PROJECT NAME: 6810 Mannheim Road Development

(as shown on the plans)

1. **SEWER SUMMARY:** Include all qualified sewer construction sewers (Sanitary sewers in combined and separate sewer areas and Storm sewers in combined sewer area) and their tributary type: Sanitary (San), Combined (C), Storm to Combined (SC), Storm to Waterway (SW), or Storm part of Volume Control (SVC)

| Tributary Type | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
|---------------------|-----|-----|-----|-----|-----|-----|-----|
| Pipe Size (in.) | | | | | | | |
| Total Length (ft.) | | | | | | | |
| Min. slope used (%) | | | | | | | |
| Pipe Material * | | | | | | | |
| Total Manholes | | | | | | | |
| Total Cleanouts | | | | | | | |
| Catch Basin/Inlets | | | | | | | |

* Pipe material and joint specifications must be shown on plans. See Technical Guidance Manual for acceptable specifications.

Sewer construction in floodplain: No Yes → FPE _____ ft.

Sanitary Manholes in floodplain N/A

Note: All structures shall have lids located above the FPE or be constructed with watertight, bolt down covers/lids.

2. **NATURE OF PROJECT** (Check all that apply)

Brief description Redevelopment and building modifications to existing hotel structures

- | | |
|--|--|
| <input type="checkbox"/> Publicly financed | <input type="checkbox"/> Sewer extension to serve future development |
| <input type="checkbox"/> Sewer system serving a subdivision | <input type="checkbox"/> Storm sewers in combined sewer area |
| <input type="checkbox"/> Off-site trunk sewer to serve subdivision | <input type="checkbox"/> Service connections to serve buildings (Sch. C) |
| <input type="checkbox"/> Other _____ | |

3. **SEWER EXTENSIONS**

Identify proposed project designed to service future connections (not included in Schedule C). Check the appropriate box and submit service area map and estimate of population equivalent (PE) to be served.

- NO YES → Service area map
 P.E. estimate submitted

SCHEDULE P
SOIL EROSION AND SEDIMENT CONTROL

WMO Permit Number: 20-172

NAME OF PROJECT: 6810 Mannheim Road Development

1. PROJECT INFORMATION:

A. Project Area (include all disturbed area) 2.00 acres

B. Stormwater discharges directly to:

- Storm Sewer
- Combined Sewer
- Overland Flow Route
- Waters of the State → Name of water body: _____
- Other → Explain: _____

C. Indicate if any of the following special circumstances apply (check all that apply):

- Volume Control Facility Wetland / Buffer Outfall to Waterway
- Floodplain / Floodway Riparian Environment Tributary to Lake Michigan

D. Explain how special circumstances indicated in Item 1.C will be protected from erosion and sedimentation:

N/A

2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES: Submit a soil erosion and sediment control plan indicating type, location, and detail for all practices. Include a sequence for all major construction activities. All practices must be constructed in accordance with the Illinois Urban Manual.

A. Indicate all temporary soil erosion and sediment control practices installed as part of the project:

- Entrance / Exit Control Vegetative Control Filtration for Dewatering
- Concrete Washout Matting / Mulching Conveyance Channel
- Silt Fence Coir Roll Velocity Dissipation
- Double-Row Silt Fence Sediment Trap Cofferdam / Silt Curtain
- Inlet Control Sediment Basin
- Other: _____
- Other: _____

B. Indicate all permanent soil erosion control practices installed as part of the project:

- Vegetative Control Velocity Dissipation
- Other: _____
- Other: _____

ENGINEERING CERTIFICATIONS

Watershed Management Permit No. _____

20-172

CERTIFICATE BY DESIGN ENGINEER: I hereby certify that the project described herein has been designed in accordance with the requirements set forth in this application and all applicable ordinances, rules, regulations, local, state and federal laws, and design criteria of the issuing authority; that the storm drainage and sanitary sewer system designed for this project are proper and adequate; that where the design involves one or more connections to an existing local sewer system, the capacity of said system has been examined and the system is found to be adequate to transport the stormwater and/or wastewater that will be added through the proposed sewer without violating any provisions of the Illinois Environmental Protection Act or the rules and regulations thereunder.

Comments, if any: _____

Engineering Firm: SPACECO, Inc. Telephone: (847) 696 - 4060

Address: 9575 W. Higgins Road, Suite 700 City: Rosemont Zip: 60018

Signature: Brett Duffly, Principal Date: 6/5/2020
(Name and Title)

Email Address: bduffy@spacecoinc.com



CERTIFICATE BY MUNICIPAL OR SYSTEM ENGINEER: The application and the drawings, together with other data being submitted with this application, have been examined by me and are found to be in compliance with all applicable requirements. The manner of drainage is satisfactory and proper in accordance with local requirements. The existing local sewer system to which the project discharges has been examined and the system is found to be adequate to transport the stormwater and/or wastewater that will be added through the proposed sewer without violating any provisions of the Illinois Environmental Protection Act or the rules and regulations thereunder.

I hereby certify that the project area is within the municipal corporate limits. YES NO

Owner of Local Sewer System: Village of Rosemont

Municipal Engineer: Christopher B. Burke Engineering, Ltd. Telephone: (847) 823-0500

Address: 9575 W. Higgins Road, Suite 600 City: Rosemont Zip: 60018

Signature: David Lynch, HEAD MUNICIPAL ENGINEER Date: 6-29-20
(Name and Title)

Email Address: DLYNCH@CBSBL.COM



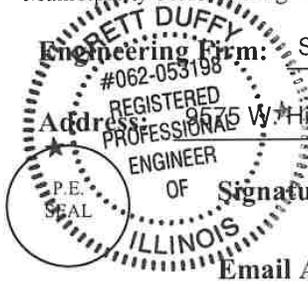
CERTIFICATE BY INSPECTION ENGINEER: I hereby certify that construction of the project will be in substantial compliance with the data and the plans submitted with this application; that approval will be obtained from the issuing authority prior to making any changes that would affect capacity, maintenance, design requirements, service area or the Permit requirements; that a set of RECORD drawings, signed and sealed by the undersigned Engineer will be furnished to the District or an Authorized Municipality for testing and approval by the District or Authorized Municipality of the completed work.

Engineering Firm: SPACECO, Inc. Telephone: (847) 696-4060

Address: 9575 W. Higgins Road, Suite 700 City: Rosemont Zip: 60018

Signature: Brett Duffly, Principal Date: 6/5/2020
(Name and Title)

Email Address: bduffy@spacecoinc.com



SPECIAL CONDITIONS

Watershed Management Permit No.

20-172

This Permit is issued subject to the General Conditions and the attached Special Conditions.

If Permit is granted:

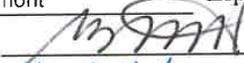
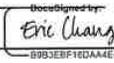
- Please return two (2) copies of the Permit to the Permittee; or
- Please mail one (1) copy to Permittee and one (1) copy to the person designated below:

Name: Brett M. Duffy

Address : 9575 W. Higgins Road, Rosemont, IL 60018, Suite 700

Email : bduffy@spacecoinc.com

CERTIFICATE BY APPLICANTS: We have read and thoroughly understand the conditions and requirements of this Permit application, and agree to conform to the Permit conditions and other applicable requirements of the District. It is understood that construction hereunder, after the Permit is granted, shall constitute acceptance by the applicants of any Special Conditions that may be placed hereon by the District or an Authorized Municipality. It is further understood that this application shall not constitute a Permit until it is approved, signed and returned by the Director of Engineering of the District or Enforcement Officer of an Authorized Municipality.

| PERMITTEE | CO-PERMITTEE |
|---|---|
| <p>The project area is within municipal corporate limits.</p> <p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p> | <p>(Co-Permittee is Property Owner)</p> <p>Title to property is held in a land trust: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, Co-Permittee shall be beneficiary with Power of Direction</p> |
| Municipality <u>Village of Rosemont</u> | Owner <u>Hotel Mannheim Chicago, LLC</u> |
| Address <u>9501 W. Devon Ave. #200</u> | Address <u>916 W. 21st Street</u> |
| City <u>Rosemont</u> Zip <u>60018</u> | City <u>Chicago</u> Zip <u>60608</u> |
| Signature  | Signature  |
| Name <u>Bradley A. Stephens</u> (Print) | Name <u>Eric Chang</u> (Print) |
| Title <u>President</u> | Title <u>Manager</u> |
| Date <u>6-29-20</u> Phone <u>847 825-4404</u> | Date <u>6/4/2020</u> Phone <u>312-969-3580</u> |
| Email <u>stephensb@villageofrosemont.org</u> | Email <u>usasiagroup@gmail.com</u> |

REVIEW AND APPROVAL BY THE DISTRICT OR AUTHORIZED MUNICIPALITY

Reviewed by: _____ **Date** _____
(Local Sewer Systems) or (Professional Engineer)

Approved for Issue

Approved by: _____ **Date** _____
(For the Director of Engineering) or (Enforcement Officer)

APPENDIX H

WMO Permit Application 20-172 Plan Set

GENERAL NOTES

1. REFERENCED CODES

A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC) AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS: ADOPTED APRIL 1, 2016 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY, EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.

B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JANUARY 2014, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY, EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.

C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.

D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSTRUCTED. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.

2. UTILITY LOCATIONS

A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123 AND THE MUNICIPALITY FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.

C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OR SYSTEMS ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

3. UTILITY COORDINATION

A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.

B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION COORDINATION WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.

C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT THAT TIME, COORDINATION SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.

4. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.

6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.

7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.

8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

9. COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THIRTY DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.

10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.

11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.

12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.

14. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.

16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.

18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05.

19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.

20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.

21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

22. GENERAL EXCAVATION/UNDERGROUND NOTES

A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.

B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.

C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMP, SUCTION AND DISCHARGE LINES AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.

23. FINAL ACCEPTANCE

A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.

B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.

C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

24. UNDERGROUND NOTES

A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.

B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.

C. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR DEWATERING. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL UPON APPROVAL OF THE OWNER AND/OR ENGINEER OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.

D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING DOT CA-4 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.

E. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8" (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4" ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.

F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.

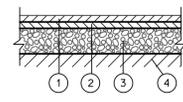
G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.

H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISH GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. (FINAL GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.)

I. SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET CROSSING SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 30° BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.

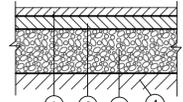
J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.

25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS. "SAFE" MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTORS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL, SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.



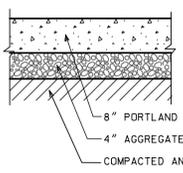
TYPICAL ASPHALT PAVEMENT SECTION (LIGHT DUTY)
N.T.S.

- 1 1.5" HMA SURFACE COURSE, MIX "D", N50
- 2 2.25" HMA BINDER COURSE, IL 19.0, N50
- 3 10" AGGREGATE BASE COURSE, TYPE B
- 4 COMPACTED AND STABLE SUBGRADE

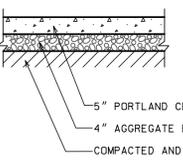


TYPICAL ASPHALT PAVEMENT SECTION (HEAVY DUTY - TRUCK AREAS)
N.T.S.

- 1 1.5" HMA SURFACE COURSE, MIX "D", N50
- 2 4.0" HMA BINDER COURSE, IL 19.0
- 3 12" AGGREGATE BASE COURSE, TYPE B
- 4 COMPACTED AND STABLE SUBGRADE



TYPICAL CONCRETE PAVEMENT SECTION
N.T.S.



TYPICAL SIDEWALK/PEDESTRIAN PATH SECTION
N.T.S.

| LEGEND | | |
|----------|-------------------------|----------|
| EXISTING | DESCRIPTION | PROPOSED |
| | DRAIN TILE | |
| | STORM SEWER | |
| | SANITARY SEWER | |
| | WATER MAIN (WITH SIZE) | |
| | PIPE TRENCH BACKFILL | |
| | GAS MAIN | |
| | TELEPHONE LINES | |
| | ELECTRIC LINE | |
| | FENCE | |
| | RIGHT-OF-WAY | |
| | EASEMENT | |
| | PROPERTY LINE | |
| | SETBACK LINE | |
| | CENTERLINE | |
| | CONTOUR | |
| | SANITARY MANHOLE | |
| | STORM MANHOLE | |
| | CATCH BASIN | |
| | INLET | |
| | FIRE HYDRANT | |
| | PRESSURE CONNECTION | |
| | PIPE REDUCER | |
| | VALVE AND VAULT | |
| | FLARED END SECTION | |
| | STREET LIGHT | |
| | UTILITY POLE | |
| | CONTROL POINT | |
| | SIGN | |
| | SPOT ELEVATION | |
| | SOIL BORING | |
| | OVERLAND FLOW ROUTE | |
| | DRAINAGE SLOPE | |
| | GUARDRAIL | |
| | WATER'S EDGE | |
| | CONCRETE | |
| | REVERSE PITCH CURB | |
| | TREE, FIR TREE, BUSH, & | |
| | PROPOSED TREE TO REMOVE | |

ABBREVIATIONS

| | | |
|---------------------------|-------------------------------|------------------------|
| M = STORM MANHOLE | I = INVERT OR INLET | T/P = TOP OF PIPE |
| S = SANITARY MANHOLE | TF = TOP OF FOUNDATION | B/P = BOTTOM OF PIPE |
| CB = CATCH BASIN | GF = GARAGE FLOOR | WM = WATERMAIN |
| LP = LIGHT POLE | TC = TOP OF CURB | SAN = SANITARY SEWER |
| VV = VALVE VAULT | TD = TOP OF DEPRESSED CURB | STM = STORM SEWER |
| E = END SECTION | TW = TOP OF RETAINING WALL | LO = LOOK OUT |
| FH = FIRE HYDRANT | BW = BOTTOM OF RETAINING WALL | PLO = PARTIAL LOOK OUT |
| GR = GRADE RING (HYDRANT) | OP = OUTLET OF PIPE | |

PERMITS

| DESCRIPTION | LOG NO. | PERMIT NO. | DATE ISSUED |
|-------------|---------|------------|-------------|
| IHPA | | | |
| IDNR | | | |
| NPDES | | | |
| MWRDGC | 20-172 | 20-172 | |

CONTACT INFORMATION

| | | |
|--|--|--|
| VILLAGE OF ROSEMONT BRUCE KOPFANG 5000 N. PEARL ST. ROSEMONT, IL 60018 630-388-3744 | NICOR BRUCE KOPFANG 1944 FERRY ROAD NAPERVILLE, IL 60563 630-388-3046 | FIRE DEPARTMENT RON HOLTMAN VILLAGE OF ROSEMONT 5300 PEARL ST. ROSEMONT, IL 60018 (847)-698-3744 (847)-671-4677 (847)-671-4593 (FAX) |
|--|--|--|

BENCHMARK

SOURCE BENCHMARK:
BENCHMARK #78 - MONUMENT SET IN CONCRETE AT NORTHEAST CORNER OF PRATT AVENUE AND MANNHEIM ROAD, 12 FEET NORTH OF EDGE OF PAVEMENT OF PRATT AND 18 FEET EAST OF EDGE OF PAVEMENT OF MANNHEIM.
ELEVATION = 638.255

SITE BENCHMARK #1
SOUTH ARROW BOLT ON FIRE HYDRANT LOCATED 50 FEET NORTHEAST OF THE NORTHWEST CORNER OF THE WESTERN MOST PART OF THE HOTEL.
ELEVATION = 641.00

SITE BENCHMARK #2
SOUTH TAG BOLT ON FIRE HYDRANT ON INTERSTATE 90 R.O.W.
FENCE, +/- 250 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.
ELEVATION = 640.67

COMMONWEALTH EDISON
475 SWIFT ROAD
LOMBARD, IL 60148
800-334-7661

METROPOLITAN WATER RECLAMATION DISTRICT
FIELD OFFICE
LOCAL SEWER SYSTEMS SECTION
6001 PERSHING ROAD
CICERO, IL 60804
(708) 588-4055

NATURAL GAS PIPELINE COMPANY OF AMERICA LLC
NICK REISDORFF, PMP
KINDER MORGAN, INC
CENTRAL WESTER PIPELINES
303-513-5967

AT&T
FRED BERO
6125 W. 28th STREET
CICERO, IL 60804
708-780-2380

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TYPICAL SECTIONS AND GENERAL NOTES

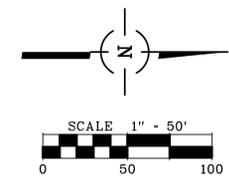
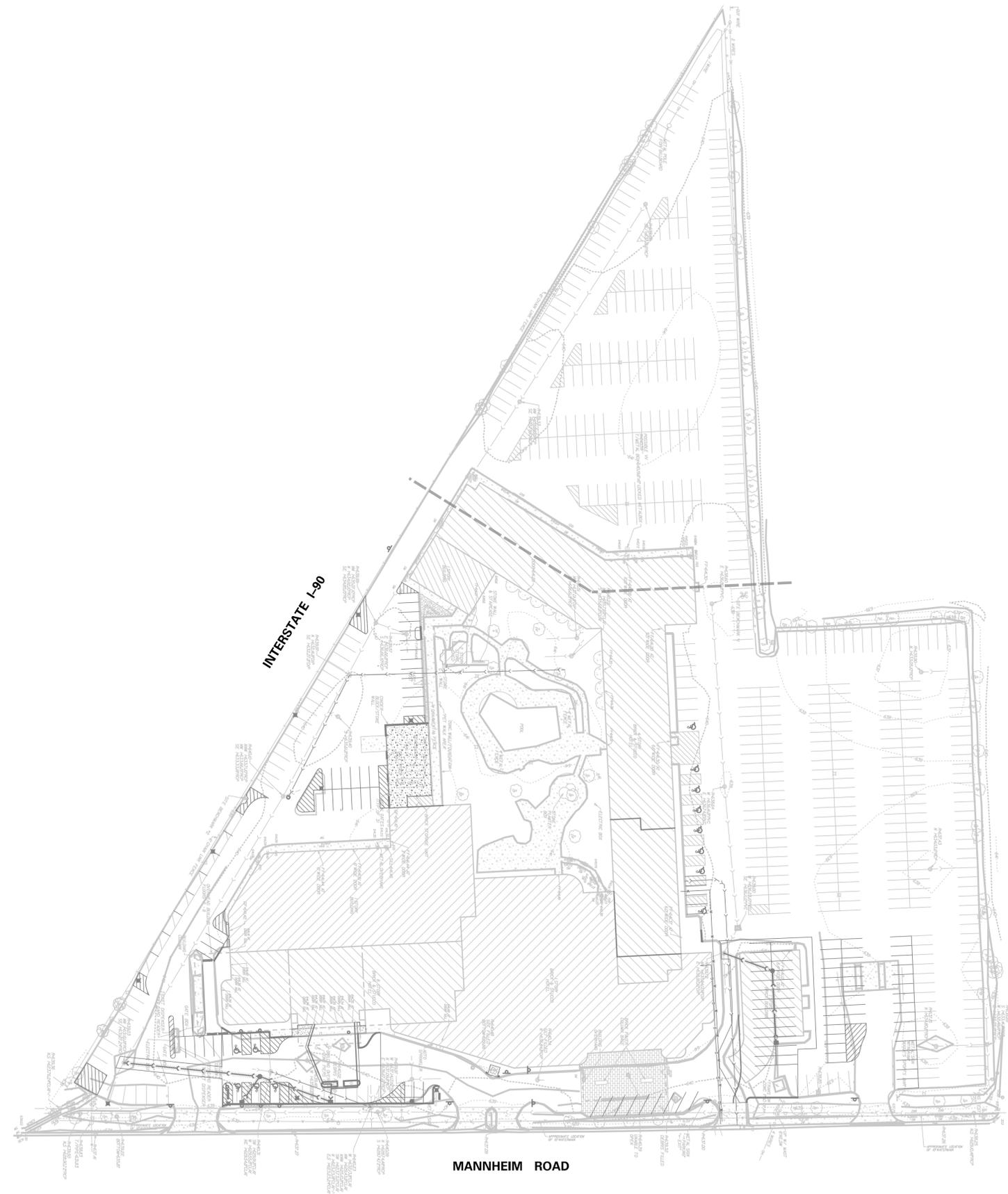
6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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Phone: (847) 696-4060 Fax: (847) 696-4065



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| FILENAME: 8055.04GN |
| DATE: 06/08/2020 |
| JOB NO. 8055.04 |
| SHEET TS1 |



| LEGEND | |
|--------|---------------------------------|
| | STORM SEWER |
| | SANITARY SEWER |
| | COMBINED SEWER |
| | WATER MAIN |
| | GAS MAIN |
| | UNDERGROUND TELEPHONE LINE |
| | UNDERGROUND ELECTRIC LINE |
| | UNDERGROUND CATV LINE |
| | OVERHEAD WIRES ON UTILITY POLES |
| | FIBER OPTIC LINE |
| | RAILROAD |
| | FENCE |
| | GUARDRAIL |
| | EDGE OF WATER |
| | WETLAND LIMITS |
| | SANITARY MANHOLE |
| | STORM MANHOLE |
| | CATCH BASIN |
| | INLET |
| | FLARED END SECTION |
| | ELECTRIC MANHOLE |
| | TELEPHONE MANHOLE |
| | TELEPHONE UPRIGHT |
| | ELECTRIC UPRIGHT |
| | CABLE TV UPRIGHT |
| | FIRE HYDRANT |
| | VALVE AND VAULT |
| | WATER VALVE |
| | B BOX |
| | AUXILIARY VALVE |
| | GAS VALVE |
| | HAND HOLE |
| | STREET LIGHT |
| | UTILITY POLE |
| | TRAFFIC SIGNAL |
| | TRAFFIC SIGNAL BOX |
| | SPRINKLER HEAD |
| | BOLLARD |
| | MAILBOX |
| | SIGN |
| | UNIDENTIFIED MANHOLE |
| | CONTOUR |
| | SPOT ELEVATION |
| | RIGHT-OF-WAY MONUMENT |
| | DSC |
| | IRON / STEEL ROD |
| | IRON PIPE |
| | CUT CROSS |
| | PK / MAG NAIL |
| | RAILROAD SPIKE |
| | SOIL BORING |
| | TREE WITH SIZE |
| | FIR TREE WITH SIZE |
| | BUSH |
| | ASPHALT |
| | CONCRETE |
| | GRAVEL |

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE. IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: APRIL 16, 2014.

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EXISTING CONDITIONS
6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

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SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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 Rosemont, Illinois 60018
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FILENAME:
 8055.04ET

DATE:
 06/08/2020

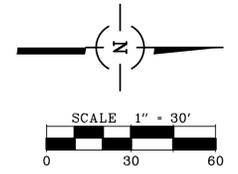
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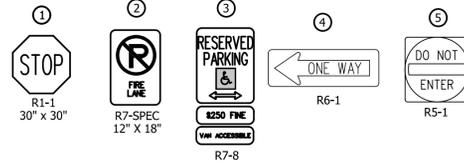
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- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS ARE 6" BARRIER CURB UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN1 FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS
 7. PARKING LOT TO BE SEAL COATED AND RESTRIPE AFTER CONSTRUCTION HAS BEEN COMPLETED.
 8. ALL PROPOSED SIGNS ALONG EASTERN PROPERTY LINE ARE TO BE INSTALLED WEST OF EXISTING IDOT RIGHT-OF-WAY

- LEGEND**
- LIGHT DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT OR APRON
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK
HC RAMP (5" WIDE UNLESS NOTED)
 - BARRIER CURB
 - DEPRESSED CURB
 - SIGN WITH POST



SIGN LEGEND:



NOTE: ② INDICATES SIGN ① MOUNTED ABOVE SIGN ②

PARKING SUMMARY

| | |
|--------------------------|-------|
| ADA STALLS TO REMAIN | = 5 |
| REGULAR STALLS TO REMAIN | = 525 |
| PROPOSED ADA STALLS | = 8 |
| PROPOSED REGULAR STALLS | = 77 |
| ADA STALLS | = 13 |
| REGULAR STALLS | = 602 |
| TOTAL STALLS | = 615 |



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GEOMETRIC PLAN 1
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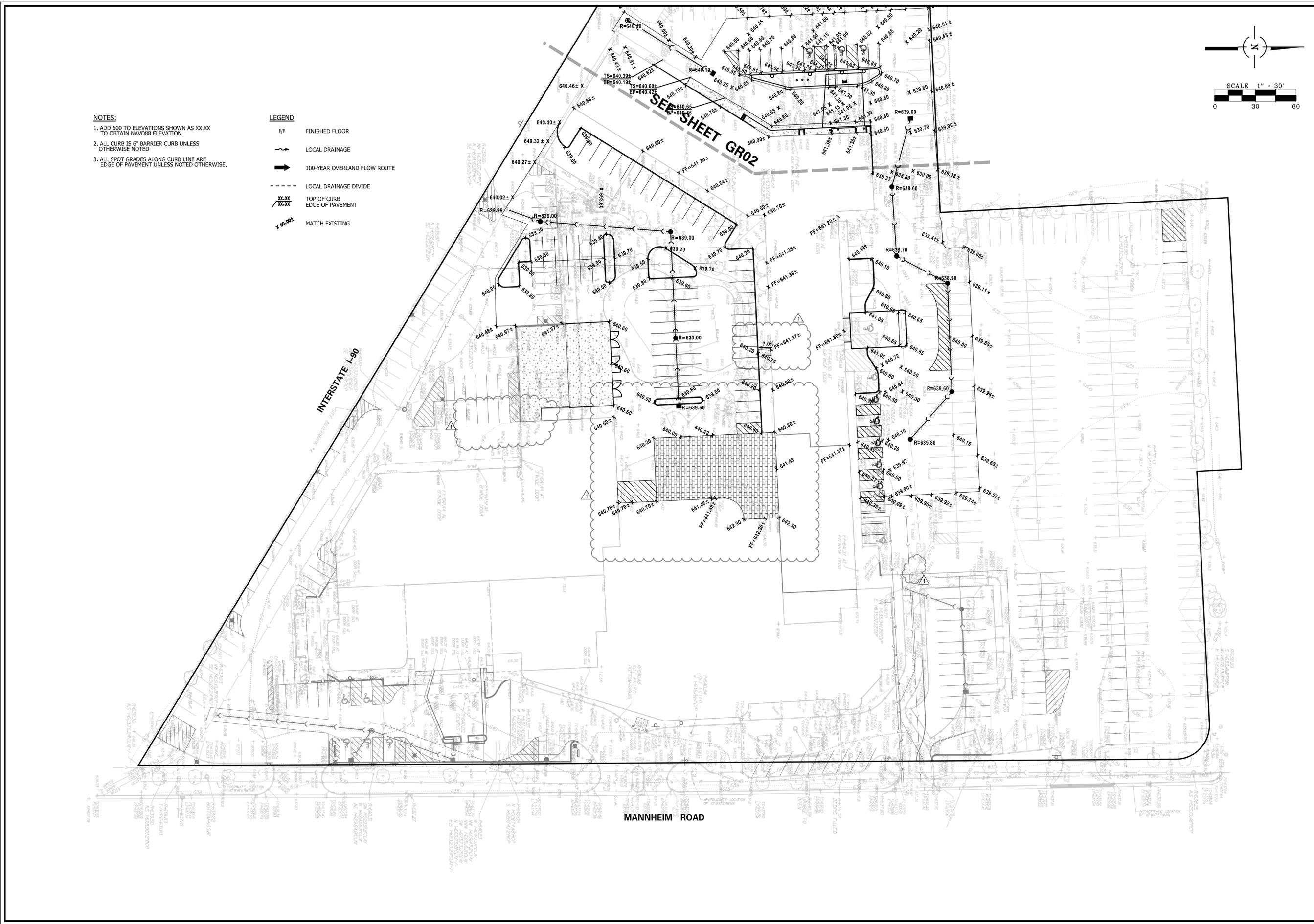
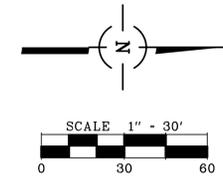
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| FILENAME: 8055GM01 |
| DATE: 06/08/2020 |
| JOB NO. 8055.04 |
| SHEET GM1 5 OF 17 |

NOTES:

1. ADD 600 TO ELEVATIONS SHOWN AS XX.XX TO OBTAIN NAVD88 ELEVATION
2. ALL CURB IS 6" BARRIER CURB UNLESS OTHERWISE NOTED
3. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

LEGEND

- FF FINISHED FLOOR
- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB
- EDGE OF PAVEMENT
- MATCH EXISTING



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GRADING PLAN 1

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SPACECO INC.

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8055.04GR01

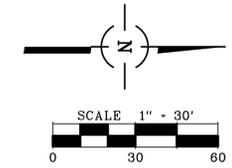
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7 OF 17

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NOTES:
1. SEE SHEET GR1 FOR NOTES AND LEGEND

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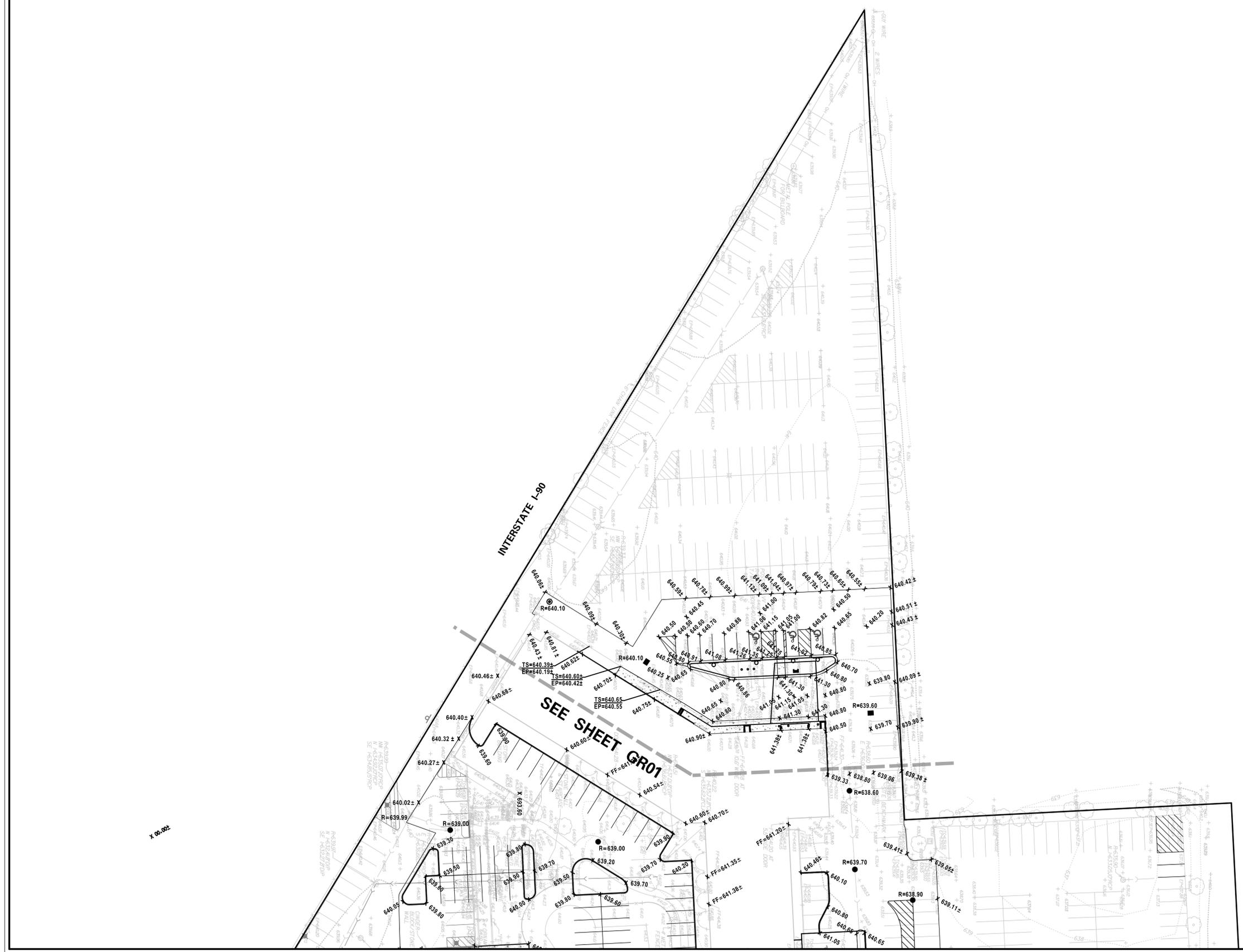
GRADING PLAN 2
6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

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LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
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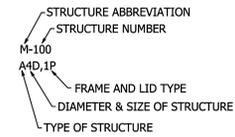
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| JOB NO. 8055.04 |
| SHEET GR2 8 OF 17 |



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STORM STRUCTURE LEGEND



STORM STRUCTURE ABBREVIATIONS

- I = INLET
- CB = CATCH BASIN
- M = MANHOLE
- E = FLARED END SECTION

NOTES:

1. ALL STORM SEWERS SHALL BE RCP CL-IV (ASTM C-76) WITH O-RING GASKETED JOINTS (ASTM C-443), UNLESS NOTED OTHERWISE.
2. TRENCH BACKFILL REQUIRED.
3. CONTRACTOR TO COORDINATE ALL EXISTING BUILDING UTILITY SERVICES AND RELOCATIONS WITH THE MEP PLANS BY OTHERS PRIOR TO CONSTRUCTION.
4. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID
1P - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "G" GRATE
5. CONTRACTOR SHALL PROVIDE WATERTIGHT RESILIENT CONNECTIONS PER ASTM C923 FOR ALL CORED OPENINGS BETWEEN SANITARY AND STORM STRUCTURES AND PIPE.
6. ALL ABANDONED SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM 2" NON-SHRINK CONCRETE/MORTAR PLUG.
7. ALL DIP STORM SEWERS SHALL BE CLASS 52 WITH A TYPE 5 LAYING CONDITION SEE SHEET D1 FOR LAYING DETAIL

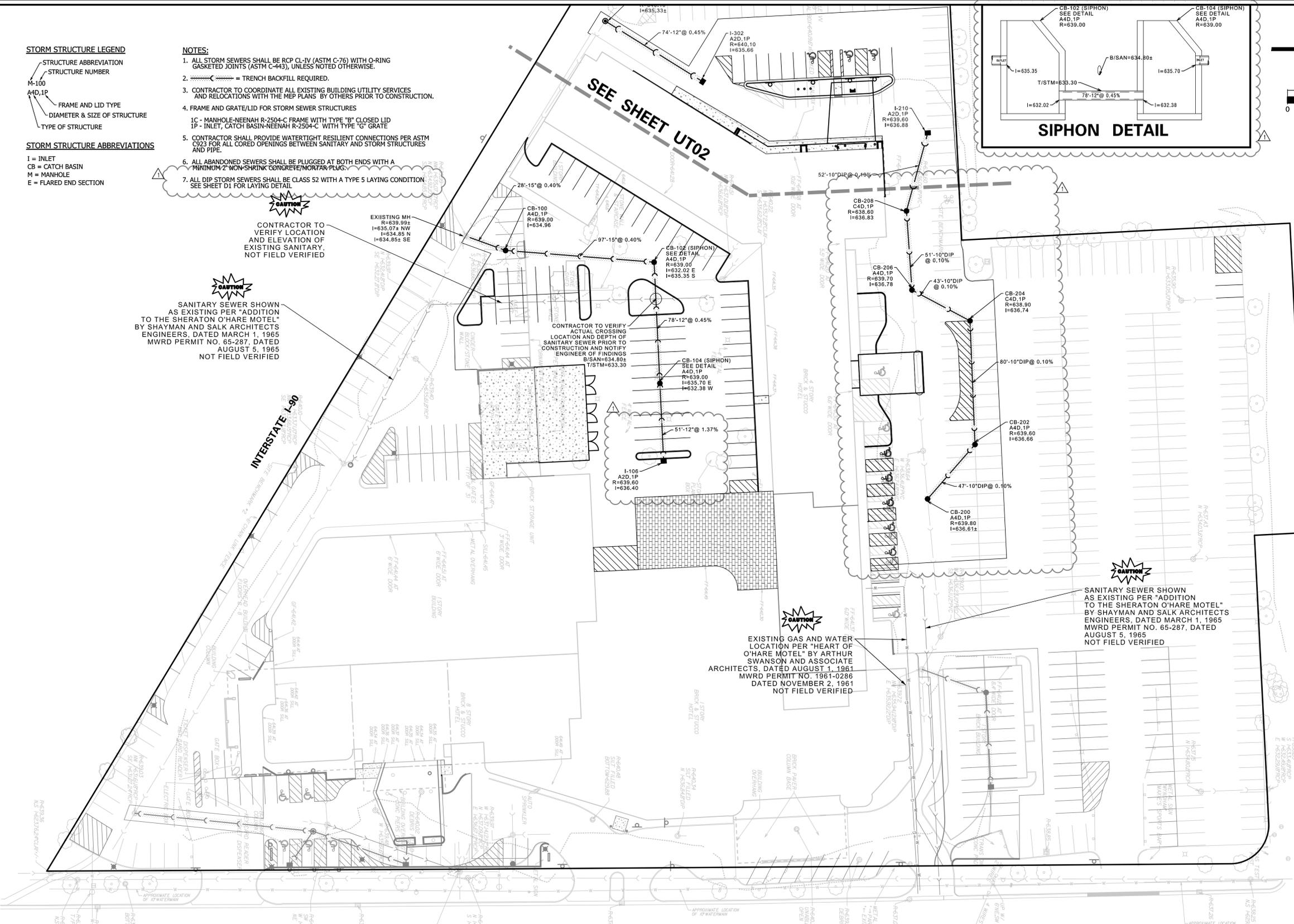
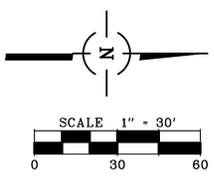
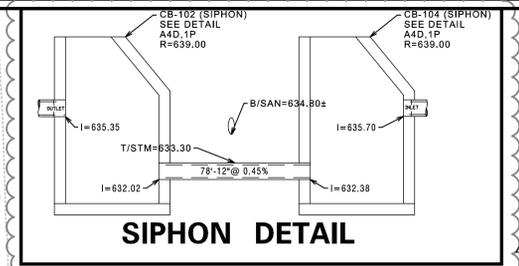
CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY, NOT FIELD VERIFIED

SANITARY SEWER SHOWN AS EXISTING PER "ADDITION TO THE SHERATON O'HARE MOTEL" BY SHAYMAN AND SALK ARCHITECTS ENGINEERS, DATED MARCH 1, 1965 MWRD PERMIT NO. 65-287, DATED AUGUST 5, 1965 NOT FIELD VERIFIED

CONTRACTOR TO VERIFY ACTUAL CROSSING LOCATION AND DEPTH OF SANITARY SEWER PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF FINDINGS B/SAN=634.80± T/STM=633.30

EXISTING GAS AND WATER LOCATION PER "HEART OF O'HARE MOTEL" BY ARTHUR SWANSON AND ASSOCIATE ARCHITECTS, DATED AUGUST 1, 1961 MWRD PERMIT NO. 1961-0286 DATED NOVEMBER 2, 1961 NOT FIELD VERIFIED

SANITARY SEWER SHOWN AS EXISTING PER "ADDITION TO THE SHERATON O'HARE MOTEL" BY SHAYMAN AND SALK ARCHITECTS ENGINEERS, DATED MARCH 1, 1965 MWRD PERMIT NO. 65-287, DATED AUGUST 5, 1965 NOT FIELD VERIFIED



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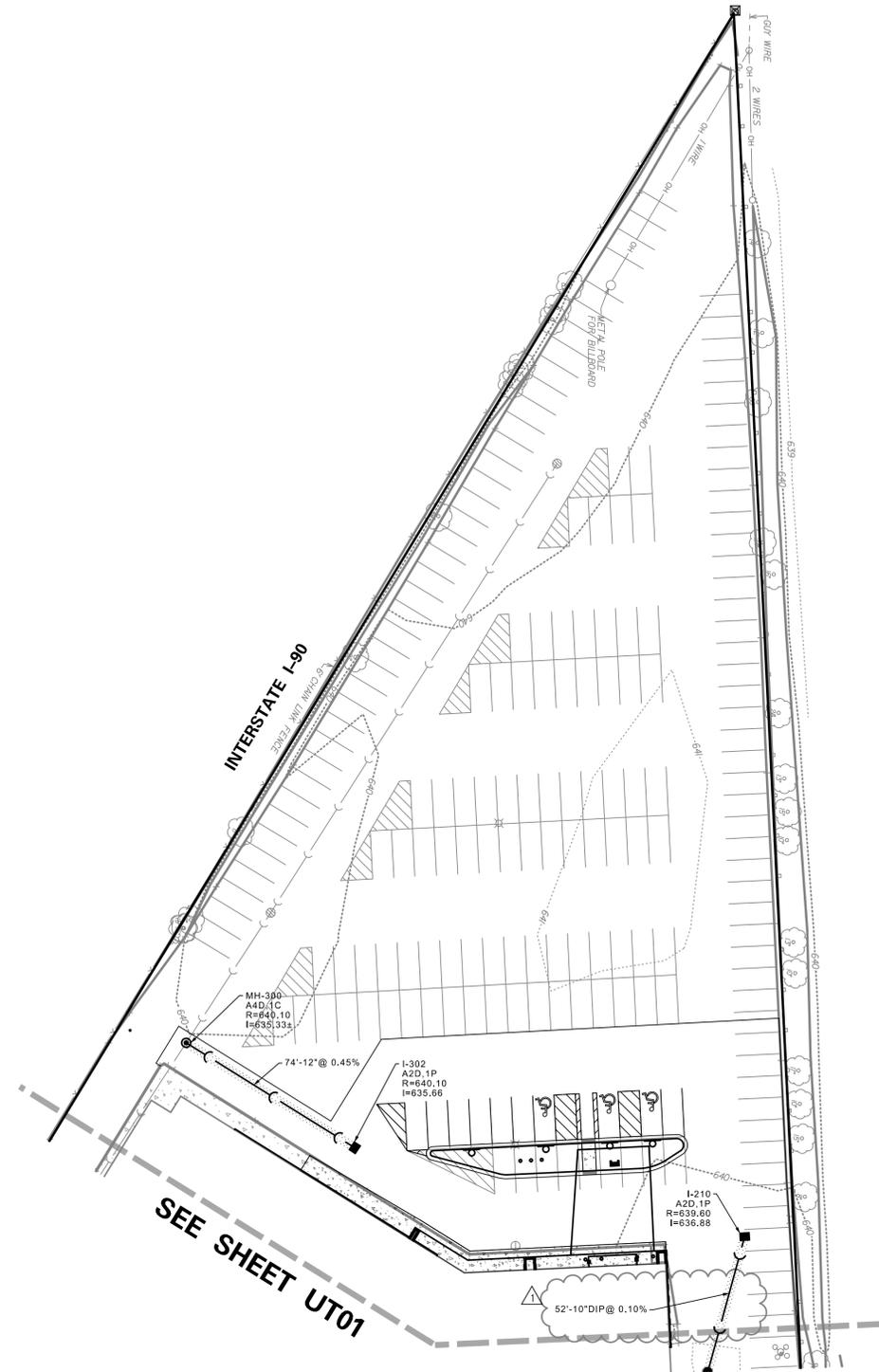
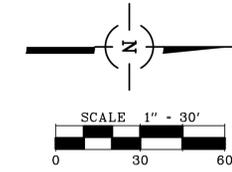
UTILITY PLAN 1
6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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| SPACECO INC. |
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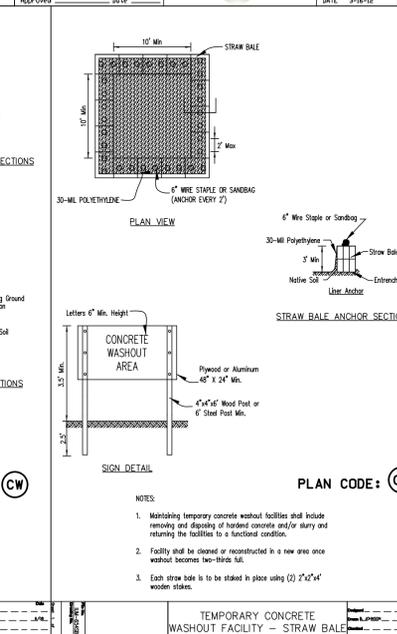
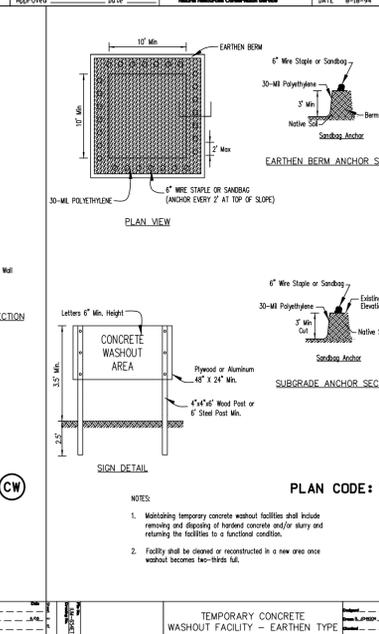
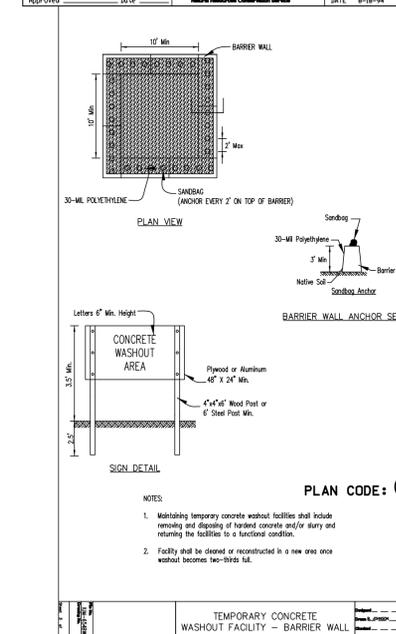
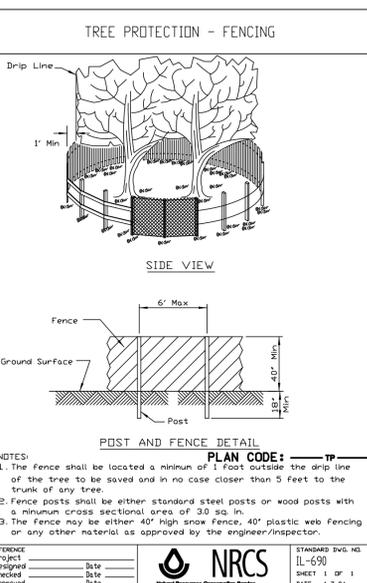
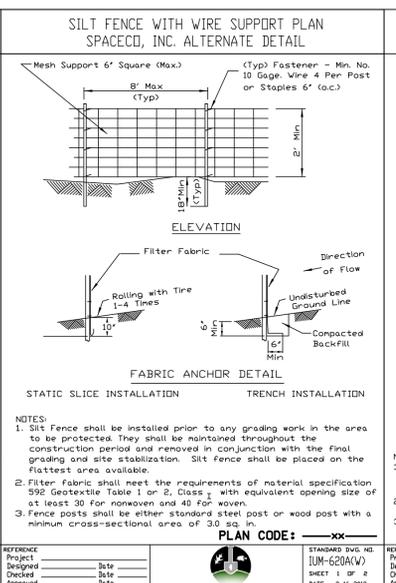
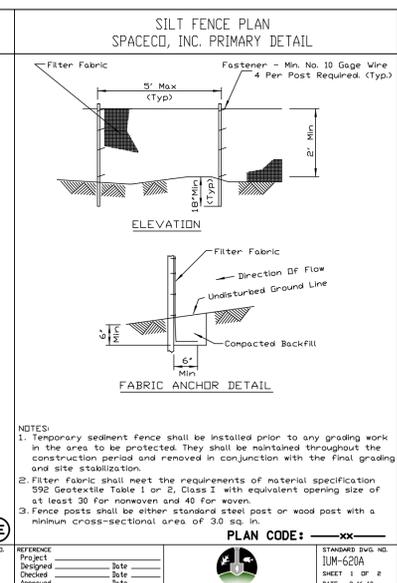
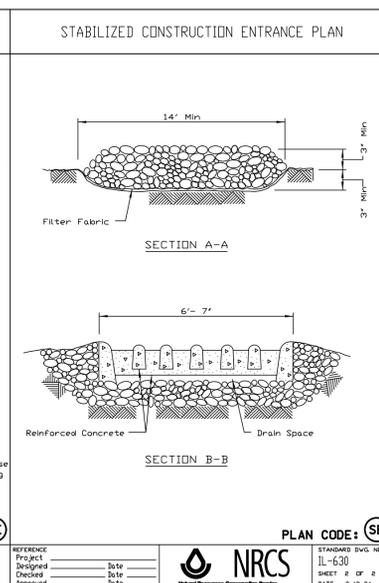
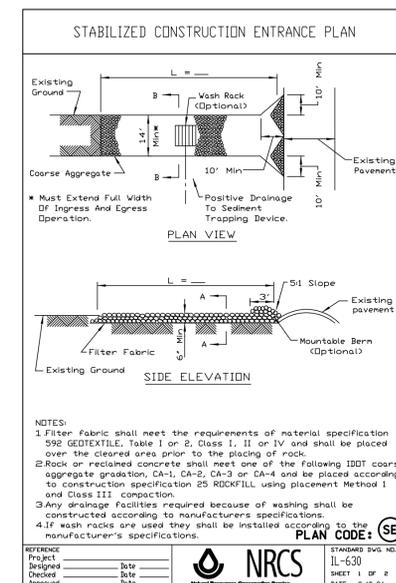
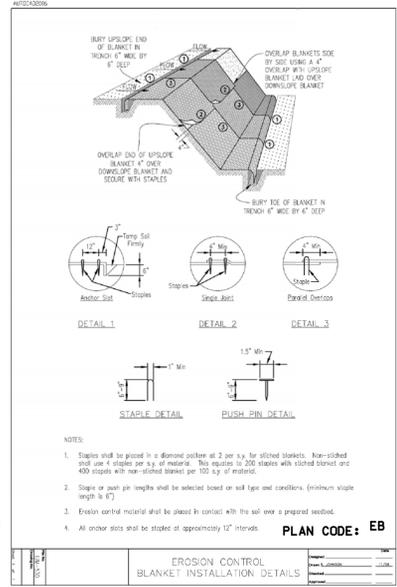
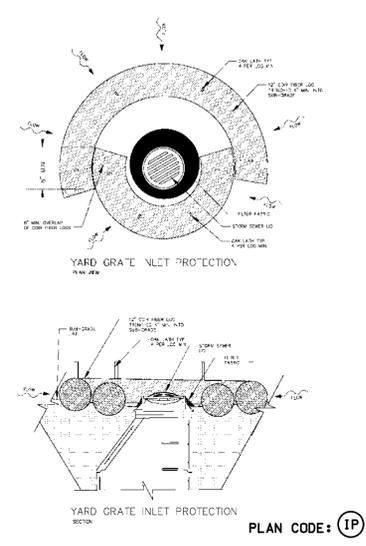
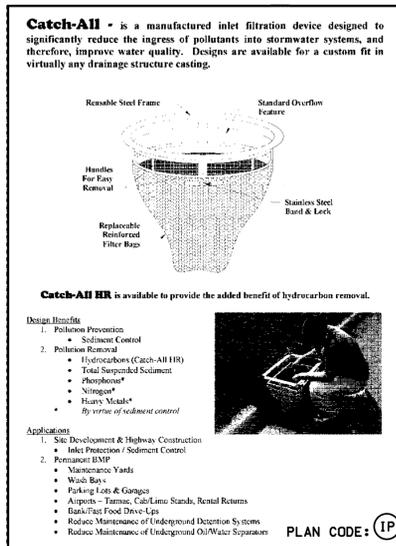
UTILITY PLAN 2
6810 MANNHEIM ROAD DEVELOPMENT
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CONSULTING ENGINEERS
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| DATE: 06/08/2020 |
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| SHEET UT2 10 OF 17 |



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SOIL EROSION AND SEDIMENT CONTROL PLAN

6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

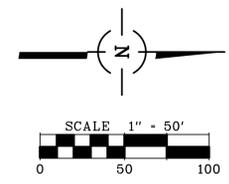
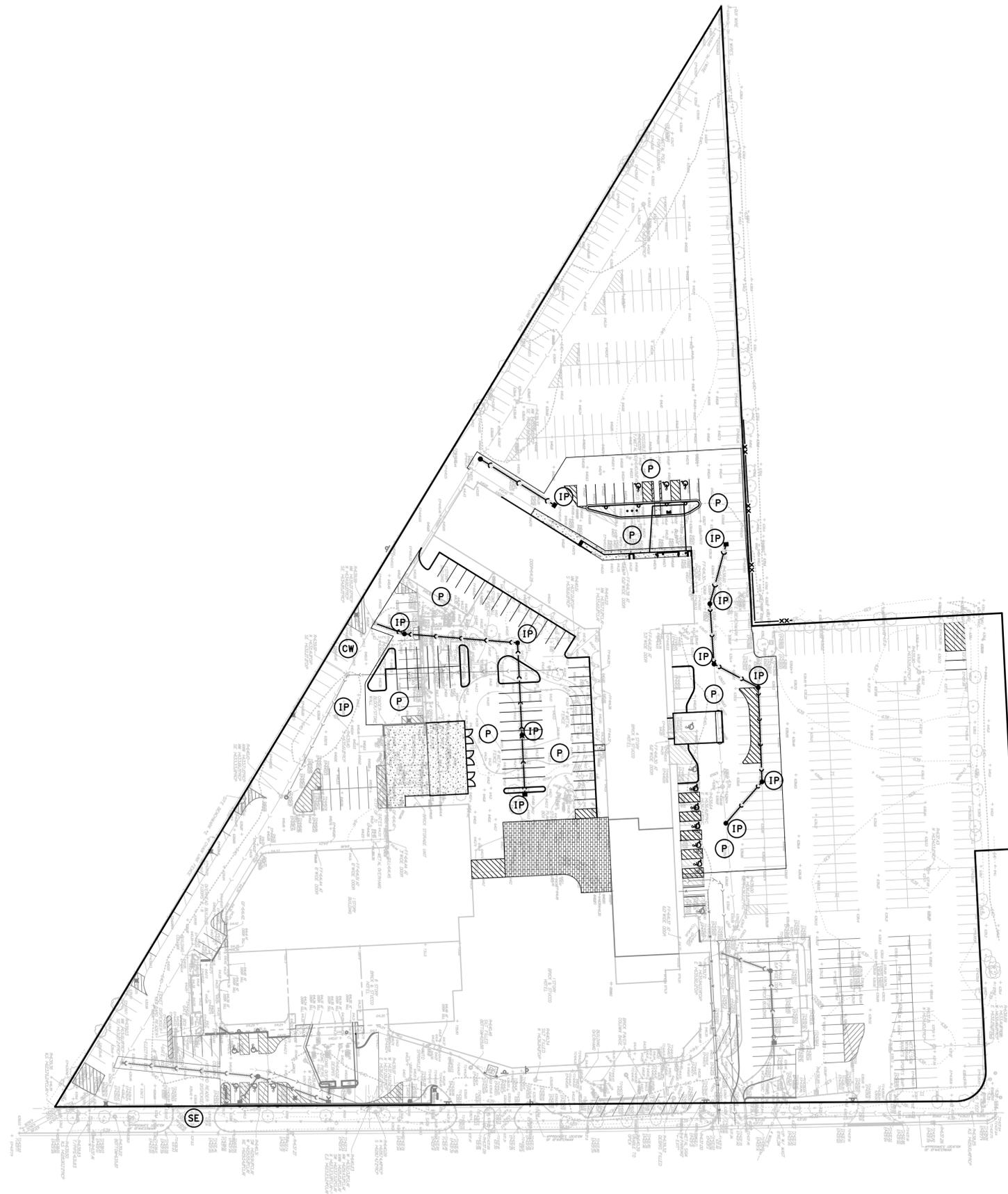
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SE2
12 OF 17

NO. DATE REMARKS



- SYMBOL LEGEND**
- x--- SILT FENCE
 - △ IP CATCH-ALL/INLET PROTECTION
 - P PAVING
 - PS PERMANENT SEEDING
 - CP CONCRETE PAVEMENT
 - CW CONCRETE WASHOUT
 - SE STABILIZED ENTRANCE
- NOTES:**
1. CONTRACTOR SHALL COORDINATE FINAL STABILIZATION WITH LANDSCAPE ARCHITECT PLANS.
 2. CONTRACTOR SHALL UTILIZE EXISTING DRIVEWAY ACCESS AS CONSTRUCTION ENTRANCE. CONTRACTOR SHALL FIELD DETERMINE LOCATION OF CONCRETE WASHOUT. CONTRACTOR SHALL CLEAN PARKING LOT AND EXISTING ROADWAY AS NECESSARY THROUGHOUT CONSTRUCTION.
 3. NORTH AMERICAN GREEN S-75 EROSION CONTROL BLANKET SHALL BE INSTALLED IN ALL AREAS WHERE SLOPE IS GREATER THAN 6:1.
 4. GREEN SPACE SHALL BE FINISHED WITH 6" TOPSOIL.

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EROSION CONTROL

6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

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| DATE: 06/08/2020 |
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| 13 OF 17 |

A. REFERENCED SPECIFICATIONS

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * VILLAGE OF ROSEMONT MUNICIPAL CODE;
 * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).
 2. THE VILLAGE OF ROSEMONT ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
 3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS N/A .
 2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
 3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
 4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
 5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
 6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
 8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
 9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
 10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
 2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
 3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
 4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
 5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
 6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
 7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

| PIPE MATERIAL | PIPE SPECIFICATIONS | JOINT SPECIFICATIONS |
|---|---------------------------------------|--|
| VITRIFIED CLAY PIPE | ASTM C-700 | ASTM C-425 |
| REINFORCED CONCRETE SEWER PIPE | ASTM C-76 | ASTM C-443 |
| CAST IRON SOIL PIPE | ASTM A-74 | ASTM C-564 |
| DUCTILE IRON PIPE | ANSI A21.51 | ANSI A21.11 |
| POLYVINYL CHLORIDE (PVC) PIPE 6-INCH TO 15-INCH DIAMETER SDR 26 18-INCH TO 27-INCH DIAMETER F/DY=46 | ASTM D-3034 ASTM F-679 | ASTM D-3212 ASTM D-3212 |
| HIGH DENSITY POLYETHYLENE (HDPE) | ASTM D-3350 ASTM D-3035 | ASTM D-3261,F-2620 (HEAT FUSION) ASTM D-3212,F-477 (GASKETED) |
| WATER MAIN QUALITY PVC 4-INCH TO 36-INCH 4-INCH TO 12-INCH 14-INCH TO 48-INCH | ASTM D-2241 AWWA C900 AWWA C905 | ASTM D-3139 ASTM D-3139 ASTM D-3139 |

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

| PIPE MATERIAL | PIPE SPECIFICATIONS | JOINT SPECIFICATIONS |
|--------------------------------|---------------------|----------------------|
| POLYPROPYLENE (PP) PIPE | | |
| 12-INCH TO 24-INCH DOUBLE WALL | ASTM F-2736 | D-3212, F-477 |
| 30-INCH TO 60-INCH TRIPLE WALL | ASTM F-2764 | D3212, F-477 |

8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
 9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
 10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
 11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.
 b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
 12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
 13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
 14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
 15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
 16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
 17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
 18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
 2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
 3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
 5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
 6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
 7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
 8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
 9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
 10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
 12. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
 13. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
 14. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 15. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
 16. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
 17. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
 18. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
 19. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
 21. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
 22. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
 23. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
 24. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL

MWRD GENERAL NOTES

07/12/2016

STD. DWG. NO. 18

PAGE NO. 19

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| 1 | 10/09/20 | | |

MWRD SPECIFICATIONS

6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
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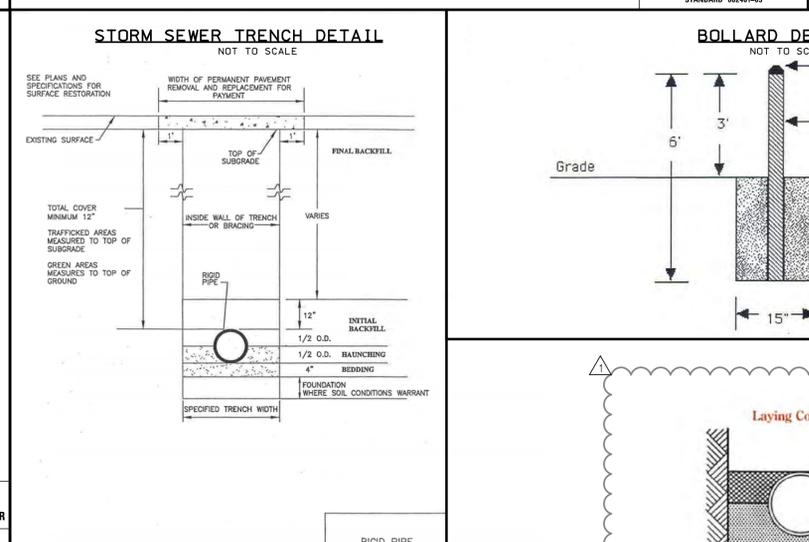
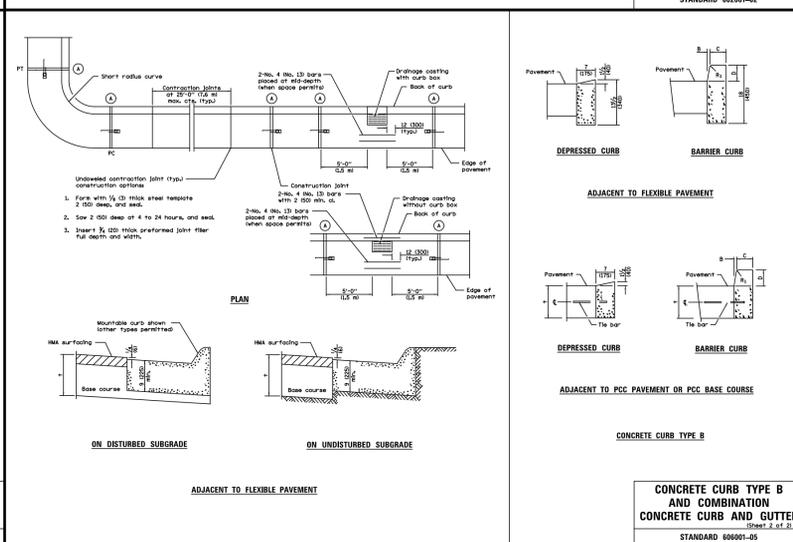
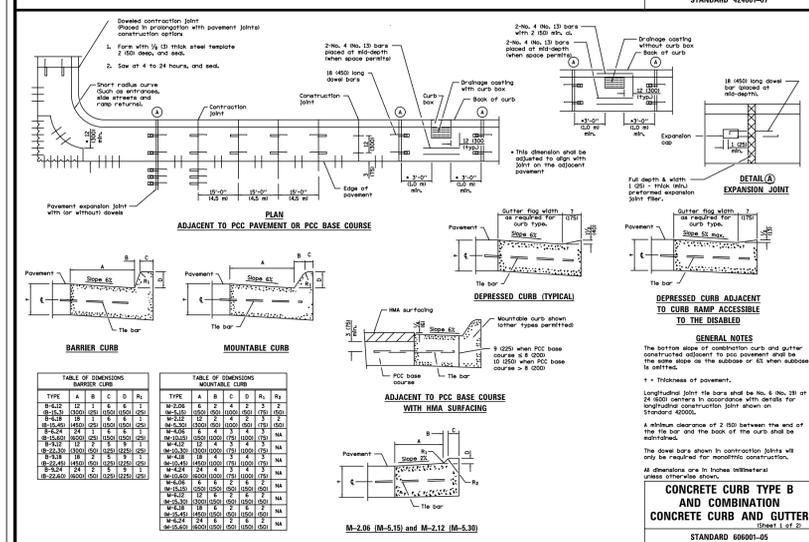
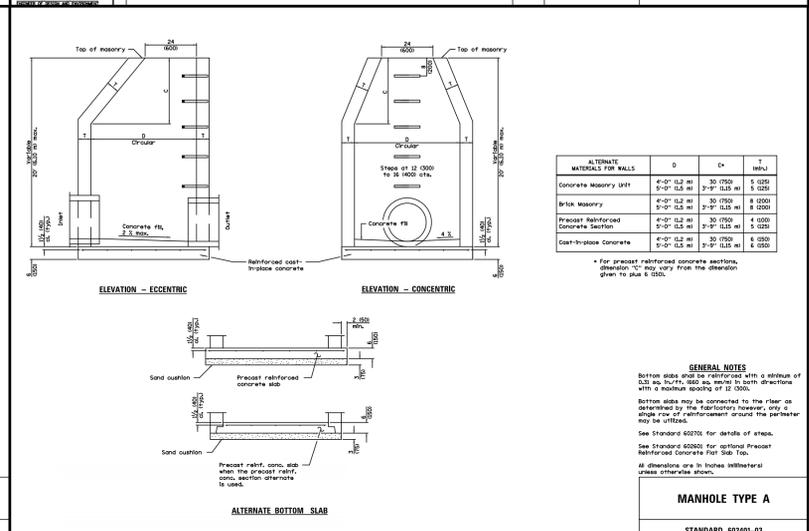
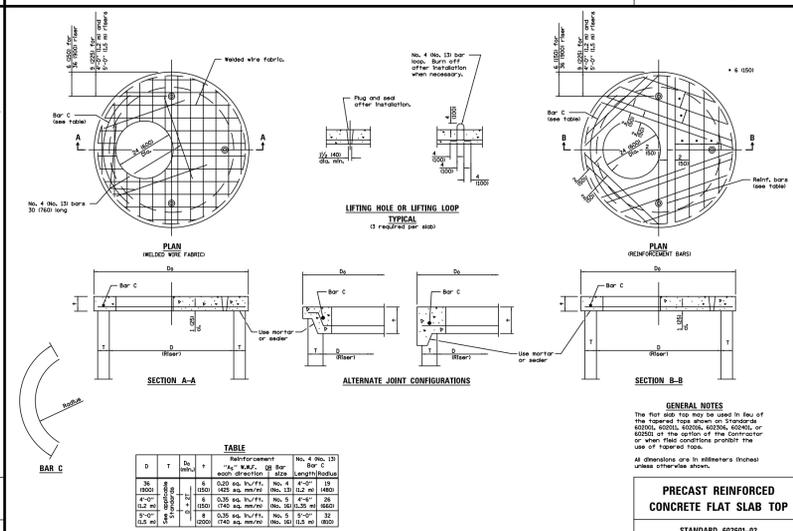
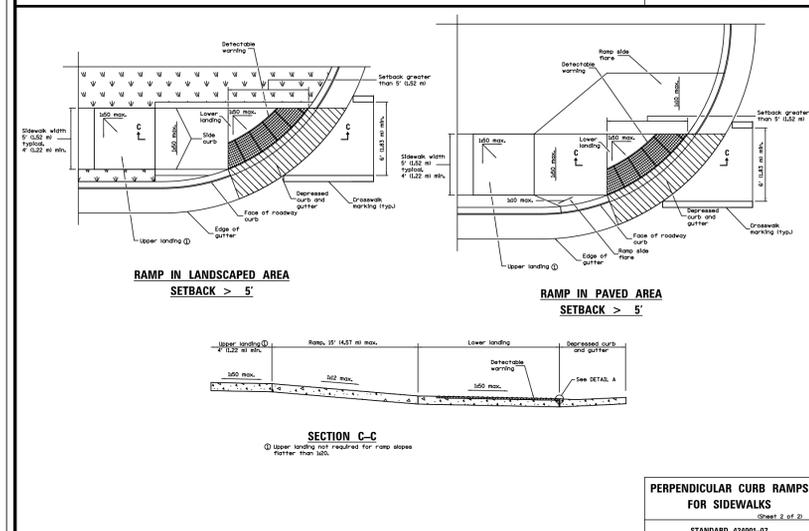
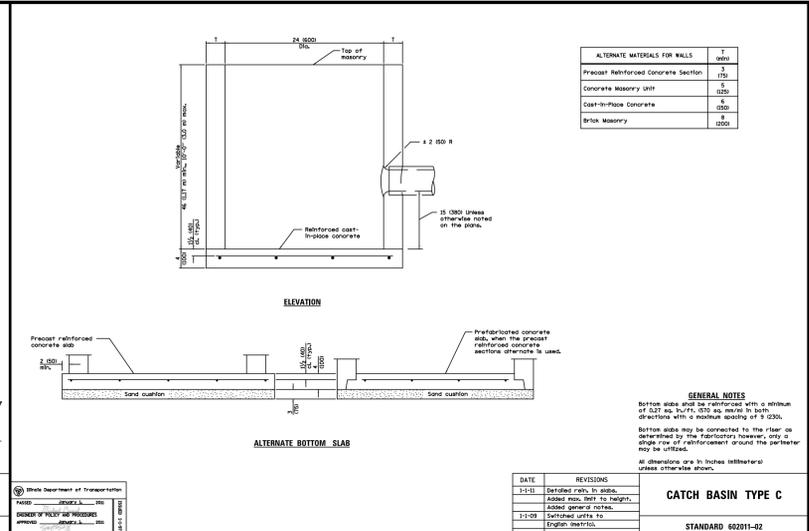
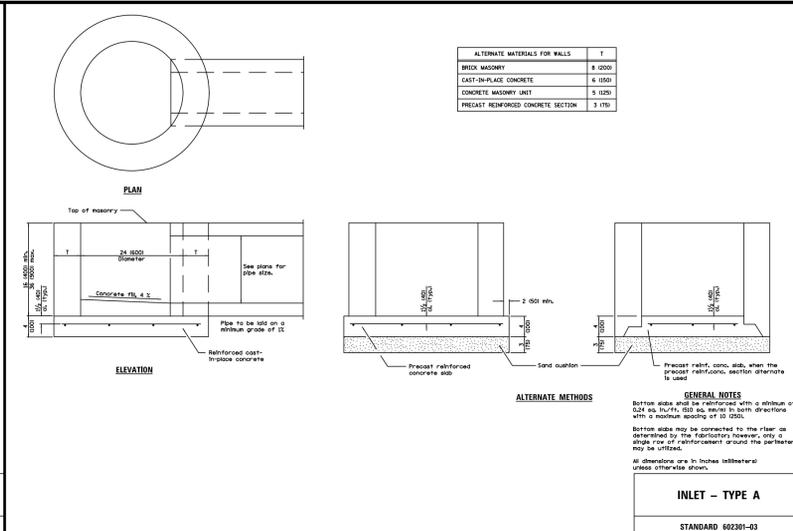
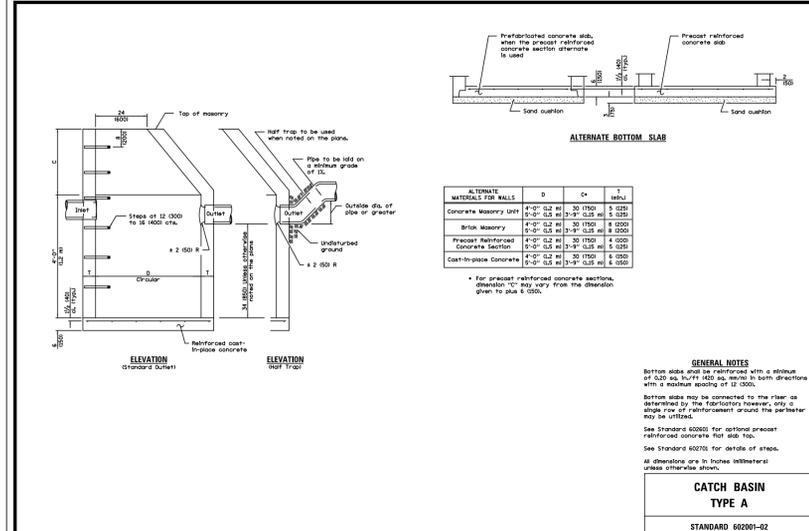


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6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

DETAIL 1

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
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SPACECO INC.

FILENAME: 8055.04DET01
DATE: 06/08/2020
JOB NO. 8055.04
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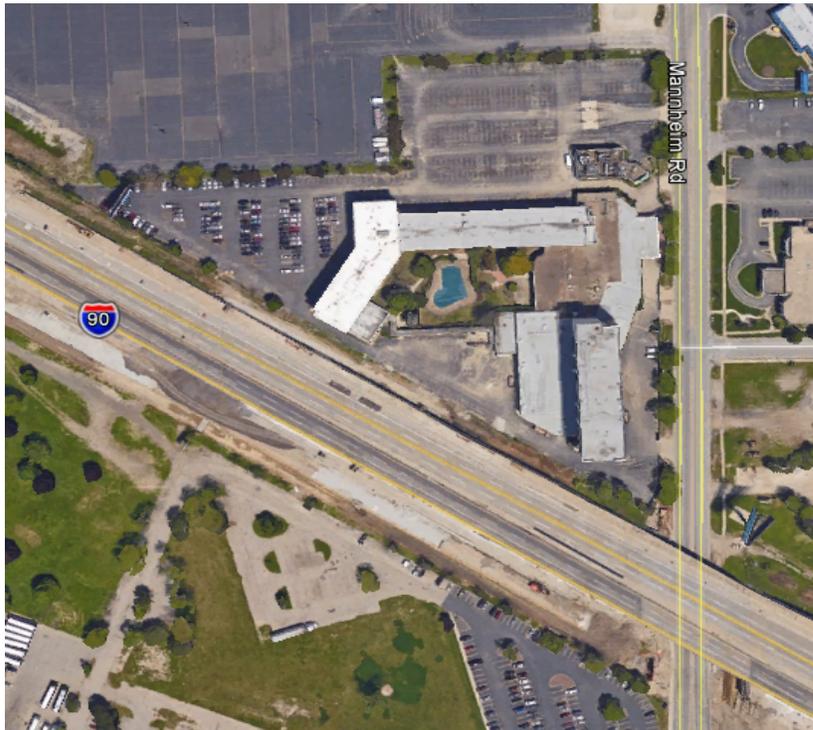
APPENDIX I

WMO Permit Application 20-172 Stormwater Report



FINAL STORMWATER
MANAGEMENT REPORT
FOR

6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, IL



Prepared For:

HOTEL MANNHEIM CHICAGO, LLC

Prepared By:
SPACECO, Inc.
9575 W. Higgins Road, Suite 700
Rosemont, IL 60018
PH: 847-696-4060
Contact: Brett Duffy, P.E.

SPACECO PROJ #: 8055.04
ORIGINAL DATE: June 2020
LAST REVISED: October 2020

TABLE OF CONTENTS

| TAB | DESCRIPTION |
|-----------|---|
| 1 | <u>General Stormwater Information</u> Stormwater Submittal Requirements Checklist Maps, Exhibit, and Plan Sheet Checklist Project Narrative & Calculations Summary |
| 2 | <u>Exhibits</u> 1 LOCATION MAP - SANITARY/STORM 2 USGS MAP 3 NRCS SOILS MAP 4 FEMA - FIRM MAP 5 MWRD-DEPRESSIONAL AREA MAP 6 NATIONAL WETLAND INVENTORY MAP 7 AERIAL PHOTO EXHIBIT 8 ALTA 9 EXISTING DRAINAGE PLAN 10 PROPOSED DRAINAGE PLAN 11 ENGINEERING PLANS TITLE SHEET |
| 3 | <u>Site Runoff Requirements</u> Existing Conditions Input Parameters (TC, CN, etc.) Proposed Conditions Input Parameters (TC, CN, etc.) Storm Sewer Calculations |
| 4 | <u>Site Volume Control Requirements</u> (Not applicable - no volume control area) |
| 5 | <u>Site Detention Requirements</u> (Not applicable - no proposed detention) |
| 6 | <u>Soil Erosion and Sediment Control Requirements</u> Narrative Description Schedule P |
| 7 | <u>Floodplain Requirements</u> (Not applicable - no floodplain area) |
| 8 | <u>Wetland/Buffer Requirements</u> (Not applicable - no wetland/buffer area) |
| 9 | <u>Riparian Requirements</u> (Not applicable - no riparian area) |
| 10 | <u>Maintenance & Monitoring Submittals</u> |

TAB 1

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04



| Applicant | Reviewer | | | Floodplain Submittal Requirements | WMO Reference |
|---|-------------------|-------------------|-------------------|--|--------------------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| | | | | Review Fee = \$ | |
| | | | | Deposits = \$ | |
| General Stormwater Information | | | | | |
| ✓ | | | | Maps, exhibits, and plan sheet(s) specified under the <i>Maps, Exhibit, and Plan Sheets Submittal Checklist</i> | §304.1, §308.5 |
| ✓ | | | | Narrative description of proposed development within the limits of the regulatory floodplain and floodway | §304.2, 304.4 |
| Regulatory Floodplain Requirements | | | | | |
| | | | | Completed Schedule H | |
| | | | | Regulatory floodplain determination: | §304.2, §601.4, §602.1 |
| ✓ | | | | Effective Flood Insurance Rate Map (FIRM) with project boundary shown | §308.5, §601.3 |
| ✓ | | | | Flood Insurance Study (FIS) profile with project boundary shown | §308.5, §601.3 |
| | | | | Letter of Map Change (LOMC) (if applicable) | §308.5, §601.3 |
| ✓ | | | | Hydrologic and hydraulic study information for project-specific floodplain studies, Zone A floodplain determinations, and FIRM revisions | §304.10(A), §601.6 |
| ✓ | | | | Calculations used in hydrologic and hydraulic modeling | §304.1(C), §601.6 |
| ✓ | | | | Hydrologic and hydraulic model input/output | §304.10(D), §601.6 |
| | | | | CD-ROM with hydrologic and hydraulic model input/output | §304.10(D), §601.6 |
| ✓ | | | | Plan view drawing of all cross-sections utilized in hydraulic computer model | §304.1(E) |
| ✓ | | | | Tabular summary of 2-, 10- and 100-year flood elevations and discharges for the development | §304.10(B) |
| | | | | Floodplain fill and compensatory storage calculations: | §304.7, §602.10, §602.11 |
| | | | | Plan view drawing locating all cross-sections used in calculations | §304.7(B) |
| | | | | Tabular summary of floodplain fill and compensatory storage values for the 0-10 year and 10-100 year intervals using average end method | §304.7(C) |
| | | | | Floodplain fill and compensatory storage ratios for 0-10 year, 10-100 year, and 0-100 year increments | §304.7(C) |
| | | | | LOMC applications, including hydrologic and hydraulic calculations and modeling input/output | §304.8 |
| Regulatory Floodway Requirements | | | | | |
| | | | | Letter from OWR authorizing development under Statewide or General Permit (if applicable) | §304.11(A) |
| | | | | OWR Floodway Construction Permit correspondence | §304.11(B) |
| | | | | FIS Floodway Data Tables | §304.9 |
| | | | | Floodway hydrologic and hydraulic analyses for the following conditions: | §301.10 |
| ✓ | | | | Existing conditions land use and stream system | §304.10(A), §602.28 |
| ✓ | | | | Proposed conditions land use and stream system | §304.10(A), §602.28 |
| | | | | Tabular summary of existing and proposed flows, flood elevations, and floodway velocities for the 2-, 10-, and 100-year storm events | §304.10(B) |
| | | | | Hydrologic and hydraulic model input/output | §304.10(D) |
| | | | | Plan view drawing of all cross-sections utilized in hydraulic computer model | §304.10(E) |
| | | | | Floodway fill and compensatory storage calculations: | §304.7, §602.10, §602.11 |
| | | | | Plan view drawing locating all cross-sections used in floodway compensatory storage calculations | §304.7(B) |
| | | | | Tabular summary of floodway fill and compensatory storage values for the 0-10 year and 10-100 year intervals using average end method | §304.7(C) |
| | | | | Floodway fill and compensatory storage ratios for 0-10 year, 10-100 year, and 0-100 year increments | §304.7(C) |
| | | | | LOMC applications, including hydrologic and hydraulic calculations and modeling input/output | §304.8, 602.15 |
| Flood Protection Requirements | | | | | |
| | | | | Determination of Flood Protection Elevation (FPE) for all proposed buildings | §304.3, §502.14 |
| | | | | Determination of whether development constitutes a substantial improvement | §602.4 |
| | | | | Narrative discussion and details of floodproofing measures | §304.6, §602.4 |

| Applicant | Reviewer | | | Maintenance and Monitoring Submittal Requirements | WMO Reference |
|--|-------------------|-------------------|-------------------|--|------------------------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| | | | | Review Fee = \$ | |
| | | | | Deposits = \$ | |
| Soil Erosion and Sediment Control | | | | | |
| ✓ | | | | A schedule of implementation of the erosion and sediment control plan including: | §310.1, §900.1(A) |
| ✓ | | | | A statement that installation of erosion and sediment control practices will occur prior to any soil disturbance | §310.1(A) |
| ✓ | | | | A schedule for construction activities, including stabilized construction entrance installation, sediment trapping facility installation, site clearing, stockpiling, grading, construction waste disposal, temporary and permanent stabilization, and removal of temporary erosion and sediment control practices | §310.1(B) |
| ✓ | | | | A schedule for inspection, reporting, and maintenance of all erosion and sediment control practices | §310.1(C) |
| ✓ | | | | Contact information for the party responsible for implementation and maintenance of the site soil erosion and sediment control plan | §310.1(D) |
| Stormwater Facilities | | | | | §310.2, §900.1(B), §900.1(C) |
| ✓ | | | | A scheduled perpetual maintenance program for stormwater facilities including, but not limited to: | §310.2(A) |
| ✓ | | | | Planned maintenance tasks and frequency of each task such as removal of sediment, debris, mowing and pruning of vegetation, and restoration of eroded areas | §310.2(B) |
| ✓ | | | | Identification of the responsible parties for performing the maintenance tasks | §310.2(C) |
| ✓ | | | | A description of applicable temporary and permanent access and maintenance easements granted or dedicated to, and accepted by, a governmental entity | §310.2(D) |
| Qualified Sewer Construction | | | | | |
| | | | | A scheduled perpetual maintenance program for qualified sewer construction including, but not limited to: | §310.3, §900.1(F), §901 |
| | | | | Planned maintenance tasks and frequency of each task for the removal of objectionable wastes, fats, oils and grease, or any other wastes collected in private pre-treatment or separator structures | §310.3(A) |
| | | | | Planned routine maintenance for all private lift station and pumping facilities | §310.3(B) |
| | | | | Operation maintenance agreements for all private service sewers providing service to multiple owners | §310.3(C) |
| | | | | Identification of the responsible parties for performing the maintenance tasks | §310.3(D) |
| | | | | A description of applicable temporary and permanent access and maintenance easements granted or dedicated to, and accepted by, a governmental entity | §310.3(E) |

| Applicant | Reviewer | | | Maintenance and Monitoring Submittal Requirements | WMO Reference |
|--|-------------------|-------------------|-------------------|--|-------------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| Wetland Mitigation | | | | | |
| | | | | If wetland mitigation is required, a wetland mitigation document shall be developed, which includes the following: | §310.4, §900.1(G) |
| | | | | Proposed wetland hydrology and an inundation and duration analysis | §310.4(A) |
| | | | | Proposed soils and soil management activities | §310.4(B) |
| | | | | Proposed planting zones, species, quantities, sizes, locations, specifications, methodologies, and details | §310.4(C) |
| | | | | Proposed maintenance and monitoring plan with maintenance activities and performance criteria outlined | §310.4(D) |
| | | | | Schedule of earthwork, planting, monitoring, and maintenance | §310.4(E) |
| | | | | A plan for the continued management, operation, and maintenance of the wetland mitigation measures including the designation of funding sources and the person responsible for long-term operation and maintenance | §310.4(F) |
| | | | | A description of applicable temporary and permanent access and maintenance and conservation easements granted or dedicated to and accepted by a governmental entity; and | §310.4(G) |
| Riparian Environment Mitigation | | | | | |
| | | | | If riparian mitigation is required, a riparian environment mitigation document shall be developed, which includes the following: | §310.5, §900.1(H) |
| | | | | The proposed methods which will allow naturalizing to occur, such as meandering, pools, or riffles for relocated channels. Methods proposed are expected to be able to withstand all events up to the base flood without increased erosion | §310.5(A) |
| | | | | The methods by which the normal flow within the channel will be diverted to construct the new or relocated channel | §310.5(B) |
| | | | | The erosion and sediment control practices to be utilized to minimize and control sediment and degradation of downstream water quality | §310.5(C) |
| | | | | The appropriate hydrologic and hydraulic methods analyzing the impacts on flood flows and flood elevations (to be provided in the floodplain and floodway submittal) meeting all other requirements in the Ordinance, including the floodplain/floodway requirements outlined in §601 and §602 of this Ordinance | §310.5(D) |
| | | | | Proposed planting zones, species, quantities, sizes, locations, specifications, methodologies, and details | §310.5(E) |
| | | | | Proposed maintenance and monitoring plan with maintenance activities and performance criteria outlined | §310.5(F) |
| | | | | Scheduling of earthwork, planting, maintenance, and monitoring | §310.5(G) |
| | | | | A plan for the continued management, operation, and maintenance of the riparian environment mitigation measures, including the designation of funding sources and the person responsible for long-term operation and maintenance | §310.5(H) |
| | | | | A description of applicable temporary and permanent access and maintenance and conservation easements granted or dedicated to, and accepted by, a governmental entity | §310.5(I) |

| Applicant | Reviewer | | | Maps, Exhibits and Plan Sheets Submittal Requirements | WMO Reference |
|---|-------------------|-------------------|--------|--|---------------|
| Check if Provided | Check if Required | Check if Provided | Status | | |
| Stormwater Management Facility Plan Sheets | | | | | |
| ✓ | | | | Existing conditions plan sheet(s) | 308.5(A) |
| ✓ | | | | Utility and geometry plan sheet(s) | 308.5(B) |
| ✓ | | | | Grading plan sheet(s) | 308.5(C) |
| Qualified Sewer Construction Plan Sheets | | | | | |
| | | | | Utility plan sheet(s) | §308.6(A) |
| | | | | The plan and profile for public qualified sewer main construction | §308.6(B) |
| | | | | The lift station plan, profile, and schematic | §308.6(C) |
| Wetland/Buffer Plan Sheets | | | | | |
| | | | | In plan view, the location of wetland and wetland buffer on or within 100 feet of the site, based upon a survey of the wetland delineation | §308.7(A) |
| | | | | Acreage of proposed impact to wetland or wetland buffer | §308.7(B) |
| | | | | A proposed wetland mitigation plan, if wetland or wetland buffer impacts are proposed | §308.7(C) |
| Riparian Environment Plan Sheets | | | | | |
| | | | | Location of riparian environments located on site, based upon a survey of the Ordinary High Water Mark (OHWM) of the channel or stream and associated riparian environment, in plan view | §308.8(A) |
| | | | | Acreage and area of proposed impact to riparian environments | §308.8(B) |
| | | | | Proposed riparian environment mitigation plan, if riparian mitigation is required | §308.8(C) |
| Recording Plan Sheets | | | | | |
| | | | | Location of all existing and proposed detention facilities to meet District stormwater storage requirements and to ensure they are permanently sustained and adequately maintained by future parcel owners | §308.9(A) |
| | | | | Location of any offsite, trade-off detention facilities to meet District stormwater storage requirements not located on the parcel and to ensure they are linked to the permitted parcel development and permanently sustained and adequately maintained by future/alternate parcel owners | §308.9(B) |
| | | | | Location of all existing and proposed volume control practices to meet District volume control requirements and to ensure they are permanently sustained and adequately maintained by future parcel owners | §308.9(C) |
| | | | | Entire parcel area for phased development providing notice of stormwater detention storage requirements for undeveloped portions of a parcel now developed in part under the WMO | §308.9(D) |
| | | | | A sewer utility plan for parcels outside of a municipality delineating any qualified sewer construction to be maintained by the co-permittee in the event that the Township or County is unwilling or unable to do so | §308.9(E) |
| | | | | Location of all wetland and riparian mitigation areas provided to meet District mitigation requirements and to ensure they are permanently sustained and adequately maintained by future parcel owners | §308.9(F) |
| | | | | Location of all native or natural planting areas to ensure they are permanently sustained and remain as native or natural planting areas by future parcel owners | §308.9(G) |
| | | | | Location of all qualified sewer construction for parcels in unincorporated areas, to ensure sewer systems are permanently sustained and adequately maintained by future parcel owners in the event the permittee (township or other non municipal entity) is unable to do so | §308.9(H) |

| Applicant | Reviewer | | | Erosion and Sediment Control Submittal Requirements | WMO Reference |
|--|-------------------|-------------------|-------------------|---|---------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| | | | | Review Fee = \$ | |
| | | | | Deposits = \$ | |
| Erosion and Sediment Control Requirements | | | | | |
| | | | | Maps, exhibits, and plan sheet(s) specified under the <i>Maps, Exhibit, and Plan Sheets Submittal Checklist</i> | §308.4 |
| | | | | Completed Schedule P | |
| | | | | An erosion and sediment control plan that describes all measures appropriate for the development. This plan shall include the following: | §302.2 |
| | | | | A narrative description of the existing land cover, hydrologic conditions of the proposed development, and areas adjacent to the development including a description of any flood protection areas, site discharge location(s), points of discharge to Jurisdictional Waters of the U.S., and soil survey data | §302.2.A |
| | | | | The NPDES ILR-10 permit number issued by IEPA to the co-permittee upon submittal of the ILR-10 Notice of Intent permit application or permit | §302.2.B |
| | | | | A narrative description of the proposed temporary erosion and sediment control practices, including a narrative describing how flood protection areas will be protected from erosion and sedimentation | §302.2.C |
| | | | | A schedule of construction activities including, but not limited to, clearing and grading, installation of stabilized construction entrances, disposal of construction waste, stockpiling, and inspection and maintenance of all erosion and sediment control practices | §302.2.D |
| | | | | A narrative describing how flood protection areas will be protected from erosion and sedimentation | §302.2.E |
| | | | | Data and calculations used to size, locate, design, and maintain all erosion and sediment control practices, and the design of temporary stream crossings | §302.2.F |
| | | | | A mechanism for ensuring that the erosion and sediment control installation and maintenance requirements for both temporary and permanent measures will be met, including the list of maintenance tasks and performance schedules that have been identified and/or required in the plan sheet(s) and specifications | §302.2.G |

| Applicant | Reviewer | | | Sewer Construction Submittal Requirements | WMO Reference |
|---|-------------------|-------------------|-------------------|---|------------------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| | | | | Review Fee = \$ | |
| | | | | Deposits = \$ | |
| General Sewer Information | | | | | |
| | | | | Maps, exhibits, and plan sheet(s) specified under the <i>Maps, Exhibit, and Plan Sheets Submittal Checklist</i> | §307.1, §308.1, §308.6 |
| | | | | All District required general notes, approved material and applicable standard qualified sewer construction details | §307.2, §702 |
| | | | | All applicable District details, technical requirements, and design guidelines for qualified sewer construction | §307.3, §702 |
| | | | | Population Equivalency (PE) calculations for expected sewer flows based on new or expanded development | §307.4 |
| | | | | Service area and future service area exhibits along with supporting population calculations | §307.5 |
| | | | | Narrative description of any live sewer connection or live sewer bypass protocol | §307.6 |
| | | | | Characteristic of waste for onsite treatment or pre-treatment of industrial wastes including: | §307.7 |
| | | | | Completed Schedule F | §307.7(A) |
| | | | | Completed Schedule G | §307.7(A) |
| | | | | Narrative of wastes being generated, treatment process, and flow loading | §307.7(B) |
| District Direct Connection Information | | | | | |
| | | | | Completed Schedule O | §307.8(A), §702.2(F) |
| | | | | All District owned sewers and structures are clearly labeled on the plans | §307.8(B) |
| | | | | Clearance distances for all proposed excavation within 15 feet of District sewers and structures | §307.8(C) |
| | | | | Sewer construction notes associated with construction in proximity of District facilities | §307.8(D) |
| | | | | Required District direct connection detail | §307.8E, §702.2(F) |
| | | | | Narrative of excavation protocol in proximity to District structure | §307.8(F) |
| | | | | Shoring calculations certified by a structural engineer for any deep excavation in proximity of District facilities | §307.8(G) |
| Outfall Connection Details | | | | | |
| | | | | Completed Schedule O | §307.9(A), §702.2(G) |
| | | | | Proposed outfall location clearly labeled on the plans | §307.9(B) |
| | | | | District outfall general notes | §307.9(C) |
| | | | | Construction details for the proposed outfall | §307.9(D) |
| | | | | Construction details of stormwater quality interceptor | §307.9(E) |

| Applicant | Reviewer | | | Stormwater Submittal Requirements | WMO Reference |
|---|-------------------|-------------------|-------------------|--|----------------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| | | | | Review Fee = \$ | |
| | | | | Deposits = \$ | |
| General Stormwater Information | | | | | |
| ✓ | | | | Maps, exhibits, and plan sheet(s) specified under the <i>Maps, Exhibit, and Plan Sheets Submittal Checklist</i> | §303.1, §308.5 |
| ✓ | | | | Narrative description of existing site conditions | §303.2(A) |
| ✓ | | | | Narrative description of proposed site conditions | §303.2(B) |
| ✓ | | | | Narrative description of upstream tributary area | §303.2(C) |
| ✓ | | | | Identification of development in combined or separate sewer area | §303.2(B) |
| Site Runoff Requirements | | | | | |
| ✓ | | | | Documentation identifying the procedures, assumptions, and data used to size minor and major stormwater system | §303.2(D) |
| ✓ | | | | Documentation identifying the procedures, assumptions, and data used to calculate on-site depressional storage | |
| | | | | Stage-storage-discharge relationship for onsite depressional storage | |
| ✓ | | | | Time of concentration calculations for existing and proposed conditions | §303.2(D) |
| ✓ | | | | Curve number calculations for existing and proposed site conditions | §303.2(D) |
| ✓ | | | | Calculations for sizing storm sewer system | §303.2(D), §502.5 |
| ✓ | | | | Delineation of tributary areas to minor stormwater system, major stormwater system, and stormwater detention facility | §303.2(D), §502.6 |
| ✓ | | | | Hydraulic grade line and water surface elevations under both design and base flood conditions | §303.2(D) |
| ✓ | | | | Buildings elevated to Flood Protection Elevation (FPE) | §303.2(D), §502.14 |
| | | | | Calculations for sizing overland flow routes | §303.2(D), §502.6 |
| | | | | Cross-section data for open channels | §303.2(D) |
| | | | | Profile drawings | §303.2(D) |
| ✓ | | | | Assumptions or calculations utilized to determine tailwater conditions for the site | §303.2(D) |
| Site Volume Control Requirements | | | | | |
| | | | | Narrative description of the utilization of the volume control practice hierarchy | §303.3(D) |
| | | | | Existing soils description, including: | §303.3(C) |
| | | | | Infiltration rate | §303.3(C) |
| | | | | Percentage of clay | §303.3(C) |
| | | | | Seasonal groundwater elevation | §303.3(C) |
| | | | | Calculation of the proposed impervious area for the development | §303.3(A), §503.2 |
| | | | | Calculation of required volume control storage for the development | §303.3(A), §503.2 |
| | | | | Narrative description of the proposed volume control practices | §303.3(D) |
| | | | | Calculations quantifying storage provided in proposed volume control practice | §303.3(E), §503.3(A) |
| | | | | Calculations quantifying volume control treated by flow-through practices | §303.3(F), §503.3(B) |
| | | | | For redevelopments: | §303.3(G), §503.3(C) |
| | | | | Demonstration that site limitations prevent the development from providing the entire volume control storage onsite (if applicable) | §503.3(C) |
| | | | | Calculation of the impervious area reduction (if applicable) | §503.3(C) |

| Applicant | Reviewer | | | Stormwater Submittal Requirements | WMO Reference |
|------------------------------------|-------------------|-------------------|-------------------|---|--|
| | Check if Provided | Check if Required | Check if Provided | | |
| Site Detention Requirements | | | | | |
| | | | | Documentation identifying the procedures, assumptions, and data used to calculate hydrologic and hydraulic conditions and to determine the post-development allowable release rate and related storage volume | §303.4(D) |
| ✓ | | | | Narrative description of proposed site conditions | §303.2(A) |
| | | | | Narrative description of upstream tributary area | §303.2(C) |
| | | | | Identification of development in combined or separate sewer area | §303.2(A) |
| | | | | Completed Schedule D | |
| | | | | Site Detention Facility Calculations: | §303.4 |
| | | | | Curve number reduction calculations based on volume control storage provided onsite | §303.2(D), §504.8 |
| | | | | Delineation of unrestricted areas and calculation of 100-year, 24-hour unrestricted release rates | §504.6 |
| | | | | Calculation of allowable release rate, accounting for any existing depressional storage and/or unrestricted releases from the site | §504.2, §504.3, §504.4, §504.5, §504.7 |
| | | | | Elevation versus storage curve and calculations | §303.4(B) |
| | | | | Elevation versus discharge curve and calculations | §303.4 (C) |
| | | | | Hydrologic model input/output (for event hydrograph methods, must be TR-20, HEC-1, or HEC-HMS) | §504.9 |
| | | | | CD-ROM containing hydrologic model input/output (for event hydrograph methods, must be TR-20, HEC-1, or HEC-HMS) | §504.9 |
| | | | | Detention nomograph calculation (if applicable) | §504.7 |
| | | | | Delineation of upstream tributary areas and calculation of bypass flow | §504.10 |
| | | | | Calculations demonstrating detention facility overflow structure and overland flow path have sufficient capacity | §303.4(C), §504.11(C) |
| | | | | Assumptions or calculations utilized to determine tailwater conditions for the site | §303.4(D), §504.13(B) |
| | | | | For redevelopments tributary to existing detention facility: | |
| | | | | Verification of existing storage volume | §505.3(A) |
| | | | | Volume control storage provided | §505.3(A) |
| | | | | Documentation of SPO Permit for original development | §505.3(B) |
| | | | | Calculation of proposed runoff coefficient | §505.3(B) |
| | | | | Modified rational method calculations using Bulletin 70 rainfall depths (if applicable) | §505.3(B) |

| Applicant Check if Provided | Reviewer | | | Watershed Management Permit Submittal Requirements | WMO Reference |
|-----------------------------------|----------------------|----------------------|--------|---|----------------------------|
| | Check if Required | Check if Provided | Status | | |
| | | | | Review Fee = \$ | |
| | | | | Deposits = \$ | |
| General Requirements | | | | | |
| | | | | Completed Watershed Management Permit Application | \$301 |
| | | | | The name(s) and legal address(es) of the co-permittee(s), permittee, and of the owner(s) of the land | \$301.1 |
| | | | | The common address, PIN(s), and legal description of the site where the development will take place | \$301.2 |
| | | | | General narrative description of the proposed development that includes: | \$303.3 |
| | | | | Type of development | \$303.3.A |
| | | | | Total parcel or site size | \$303.3.B |
| | | | | Size of area under development | \$303.3.C |
| | | | | Affidavit(s) signed by the co-permittee(s) attesting to: | \$301.4 |
| | | | | The understanding of the requirements of and intent to comply with the WMO | |
| | | | | Disclosure of property interests (Schedule K) stating the aggregate total area of said property and all other lands contiguous to said property in which the owner holds an interest | |
| | | | | Notice of Requirements for Stormwater Detention (Schedule L) for parcel areas not being developed under a Watershed Management Permit to provide notice that detention requirements will apply to said parcel areas if future development occurs | |
| | | | | Development plan set signed and sealed by a Professional Engineer | |
| | | | | Site stormwater plan signed and sealed by a Professional Engineer | \$300.2.A |
| | | | | Topographic information tied to the North American Vertical Datum of 1988 based on national map standard accuracy | \$300.3 |
| | | | | The design of stormwater facilities, calculations for the determination of the 100-year floodplain and regulatory floodplain, and calculations of the impact of development shall meet the standards of the WMO and are prepared, signed, and sealed by a Professional Engineer | \$300.2.B |
| | | | | If wetlands are located onsite or within 100 feet of the site, a survey locating the wetland in plan view, including the wetland buffer, is signed and sealed by a Professional Engineer or a Professional Land Surveyor | \$300.2.C |
| | | | | If riparian environments are located onsite or within 100 feet of the site, a survey in plan view of the channel or stream and associated riparian environment is signed and sealed by a Professional Engineer or a Professional Land Surveyor | \$300.2.D |
| | | | | A statement of opinion by either a Professional Engineer or Wetland Specialist either denying or acknowledging the presence of flood protection areas: | \$301.5 |
| | | | | Within the area of the development | \$301.5.A |
| | | | | On the site | \$301.5.B |
| | | | | 100 feet beyond the area of the development if not included within the site | \$301.5.C |
| | | | | If presence of flood protection areas is identified, appropriate submittals are provided | \$301.5.D |
| | | | | Copies of other permits or permit applications as required, including any NPDES, OWR, Corps, FEMA LOMAs, LOMRs, LOMR-Fs, CLOMAs, and CLOMRs | \$301.6 |
| | | | | Erosion and Sediment Control Submittal | \$302 |
| | | | | Stormwater Management Submittal | \$303 |
| | | | | Floodplain Submittal | \$304, \$601 |
| | | | | Wetland-Buffer-Riparian Environment Submittal | \$305, \$306, \$603, \$606 |
| | | | | Sewer Construction Submittal | \$307, \$701 |
| | | | | Maps, Exhibits, and Plan Sheets Submittal | \$308 |
| | | | | Maintenance and Monitoring Plan Submittal | \$310 |

| Applicant | Reviewer | | | Wetland-Riparian Submittal Requirements | WMO Reference |
|--|-------------------|-------------------|-------------------|--|-----------------------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| | | | | Review Fee = \$ | |
| | | | | Deposits = \$ | |
| Wetland Delineation Requirements | | | | | |
| | | | | Written Wetland Delineation Report and Jurisdictional Determination Request ("JD") for all wetlands/farmed wetlands/waters on and within 100 feet of development site | \$305, §603.2, §603.3 |
| | | | | ➤ Onsite Isolated Wetlands are Characterized as "Standard" or "High Quality" | \$305, §603.8 |
| | | | | ➤ Offsite Wetland Boundaries have been determined | \$305, §603.5 |
| | | | | ➤ Wetland Buffers Widths have been determined and confirmed | \$305, §603.9 |
| | | | | Completed Schedule W | |
| LONI Requirements | | | | ▶ Isolated Wetland present, but no proposed wetland impacts, the following apply: | |
| | | | | Cover letter describing proposed activity | \$305 |
| | | | | Wetland and buffer plan view of all onsite and offsite (within 100 feet of site) and supporting information | \$305, §308.7.A-C.1-7, §603 |
| | | | | A statement indicating date of boundary verification by the District | \$305, §603.5 |
| | | | | Site Development Plans (e.g., grading, SESC, etc. - showing wetland boundaries) | \$305 |
| | | | | 80-150 Wetland Hydrology Analysis | \$305 |
| | | | | Corps letter of no objection (if required by District) | \$305, §604.2 |
| Corps Jurisdictional Wetland Impact | | | | ▶ Creates a wetland impact within WOUS? O Yes O No If YES, the following apply: | |
| | | | | Wetland delineation and wetland determination report as specified | \$305, §603.2, §603.3 |
| | | | | Corps permit or letter stating no permit required | \$305, §604.2 |
| | | | | Buffer Area requirements as specified | \$305, §604.19 |
| Isolated Wetland Impact (IWI) < 0.1 AC | | | | ▶ Creates < 0.1 acre IWI? O Yes O No If YES, the following apply: | |
| | | | | A statement indicating date of boundary verification by the District | \$305, §603.5 |
| | | | | A classification of each onsite isolated wetland as either a high quality isolated wetland or a standard isolated wetland, including a narrative detailing the results of the assessment of specific functions and values; | \$305, §604.3 |
| | | | | Wetland delineation and wetland determination report as specified | \$305, §603.2, §603.3 |
| | | | | Mapping products in accordance with §308.7 of this ordinance | \$305, §308.7, §603 |
| | | | | (1) A jurisdictional determination indicating that the impacted wetland is not under the jurisdiction of the Corps; or (2) A Letter of No Objection stating that no permit from the Corps is necessary; or (3) A copy of the Section 404 permit application, all associated correspondence, and a copy of the completed joint application form | \$305, §604.5 |

| Applicant | Reviewer | | | Wetland-Riparian Submittal Requirements | WMO Reference |
|--|-------------------|-------------------|-------------------|--|--------------------------------------|
| | Check if Provided | Check if Required | Check if Provided | | |
| Isolated Wetland Impact (IWI) > 0.1 AC or High Quality Wetland | | | | ► Creates > 0.1 acre IWI or impacts a High Quality Wetland? O Yes O No If YES, the following apply: | |
| | | | | A narrative describing the location, type, functions, and size of all wetlands and wetland buffers on the site, and a discussion documenting the proposed impact is the least damaging alternative | \$305, \$604.3, \$604.4 |
| | | | | A statement indicating date of boundary verification by the District or authorized municipality | \$305, \$603.5 |
| | | | | A classification of each onsite isolated wetland as either a high quality isolated wetland or a standard isolated wetland, including a narrative detailing the results of the assessment of specific functions and values | \$305, \$604.3 |
| | | | | Wetland delineation and wetland determination report as specified | \$305, \$603.2, \$603.3 |
| | | | | An assessment to determine the Swink and Wilhelm Floristic Quality Index (FQI) and mean coefficient of conservatism (Ĉ), carried out within the growing season for all wetlands on the site | \$305, \$603.8 |
| | | | | Photos of all wetlands and wetland buffers on the site | \$305 |
| | | | | An Illinois Department of Natural Resources (IDNR) threatened and endangered species consultation | \$305 |
| | | | | A United States Fish and Wildlife Service (USFWS) threatened and endangered species consultation | \$305 |
| | | | | (1) A jurisdictional determination indicating that the impacted wetland is not under the jurisdiction of the Corps; or (2) A Letter of No Objection stating that no permit from the Corps is necessary; or (3) A copy of the Section 404 permit application, all associated correspondence, and a copy of the completed joint application form | \$305, \$604.5 |
| | | | | An evaluation of the indirect impacts to isolated wetlands onsite and within 100 feet of the development | \$305, \$603.5 |
| | | | | Documentation must be provided that describes how the isolated wetland buffer functions will be mitigated | \$305, \$603.3 |
| | | | | Wetland mitigation document | \$305, \$310.4, \$308.7 |
| | | | | If mitigation is to be provided via a wetland mitigation bank, a statement of obligation from the wetland mitigation bank showing mitigation acreage reserved for the project | \$605 |
| Impacts To High Quality Wetlands | | | | | |
| | | | | Documentation that the proposed impact is the least damaging alternative to allow for an economic use of the parcel | \$305.3(C) |
| | | | | Documentation that if the High Quality Wetland were avoided that a hazardous road condition would result | \$305.3(C) |
| Impacts To Riparian Environments | | | | | |
| | | | | A delineation of the riparian environments, with support maps and function inventory | \$303.1-3, \$308.8, \$606.2, \$306.4 |
| | | | | A description of the impact riparian area functions. | \$303.4, \$606.1 |
| | | | | If Corps jurisdictional waters are impacted one of the following must be provided: (1) A jurisdictional determination indicating that the impacted waters is not under the jurisdiction of the Corps; or (2) A Letter of No Objection stating that no permit from the Corps is necessary; or (3) A copy of the Section 404 permit application, all associated correspondence, and a copy of the completed joint application form | \$303.5, \$306.5 |
| | | | | If a channel impact is proposed, is the length of the post channel project equal to or greater than the pre-project condition | \$607.5.D |
| | | | | Riparian Mitigation Document | \$306.7 |

PROJECT NARRATIVE

INTRODUCTION

This report summarizes the stormwater management plan for the proposed hotel development located in the Village of Rosemont, Cook County, Illinois. The project site is located at 6810 Mannheim Road as shown on Exhibit 7 under Tab 2. The total contiguous ownership is 8.38 acres and the proposed development will disturb approximately 2.0 acres. The stormwater analysis was performed based on the land plan prepared by the project architect, the topographic survey prepared by SPACECO Inc., in accordance with the requirements of the Watershed Management Ordinance (Ordinance) as adopted by the Metropolitan Water Reclamation District of Greater Chicago on October 3, 2013, and as amended to, and including May 16, 2019.

EXISTING CONDITIONS

Under existing conditions, the project site is a hotel facility with the associated roadways and utilities. The site is located directly north of Interstate I-90, and on the west side of Mannheim Road. There is no existing detention storage provided on site. A 72" storm sewer traverses north to south on the east side of the site parallel to Mannheim Road.

There is no floodplain based on existing topography and a mapped floodway located on-site as delineated by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel number 0219J, effective August 19, 2008, and included as Exhibit 4 under Tab 2. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

There is no existing on-site depressional storage.

There is no off-site drainage area tributary to the site as shown on the USGS Map included as Exhibit 3 under Tab 2, and on the detailed existing conditions plans included in the Site Improvement Plans, see Title Sheet included as Exhibit 11 under Tab 2.

The project is located in a separate sewer area. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek, as shown in Exhibit 1 under Tab 2.

There are no existing wetlands/waters of the U.S. located on the site.

PROPOSED CONDITIONS

General Stormwater Information

The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements, and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 Acres.

There is currently no stormwater detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

Site Runoff Requirements

The project is located in a separate sewer area, and the site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

The following table is a breakdown of the existing and proposed on-site areas. This is a holistic view and does not distinguish between detained, unrestricted, and native plantings.

| Site Condition | Areas | | | |
|----------------|--------------|----------------|-----------|--------------|
| | Pervious Ac. | Impervious Ac. | Total Ac. | % Impervious |
| Existing | 0.49 | 1.51 | 2.0 | 76 |
| Proposed | 0.19 | 1.81 | 2.0 | 91 |

There is no upstream area tributary to the site. There is no depressional storage on-site.

Tab 3 of the report includes detailed calculations for Time of concentration (Tc), Curve Number (CN), and detailed storm sewer calculations.

Storm Sewer Design Criteria

Stormwater Studio 2017 v 2.0.0.52 was used to size the storm sewer and determine the Hydraulic Grade Line and water surface elevations. Calculations can be found under Tab 3.

- Rainfall Return Period: 10-Year – Conveyance in Pipe (HGL Below Rim Grade)
100-Year – Overland Flow

Peak Discharge Method: Rational Formula, $Q=CIA$

- Computer Software: Stormwater Studio
- Rainfall Intensity: Use ISWS Bulletin 75, Table 13 for Northeast Zone
- Runoff Coefficient: Impervious area: C = 0.90
Pervious area: C = 0.45

(See Attached Calculation Sheet)
- Inlet Time: 10 Minutes (minimum)
- Pipe Capacity: Use Manning's equation for full pipe flow capacity.
Use n = 0.013 for RCP.

Site Volume Control & Detention Storage Requirements

There is currently no stormwater detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

TAB 2

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

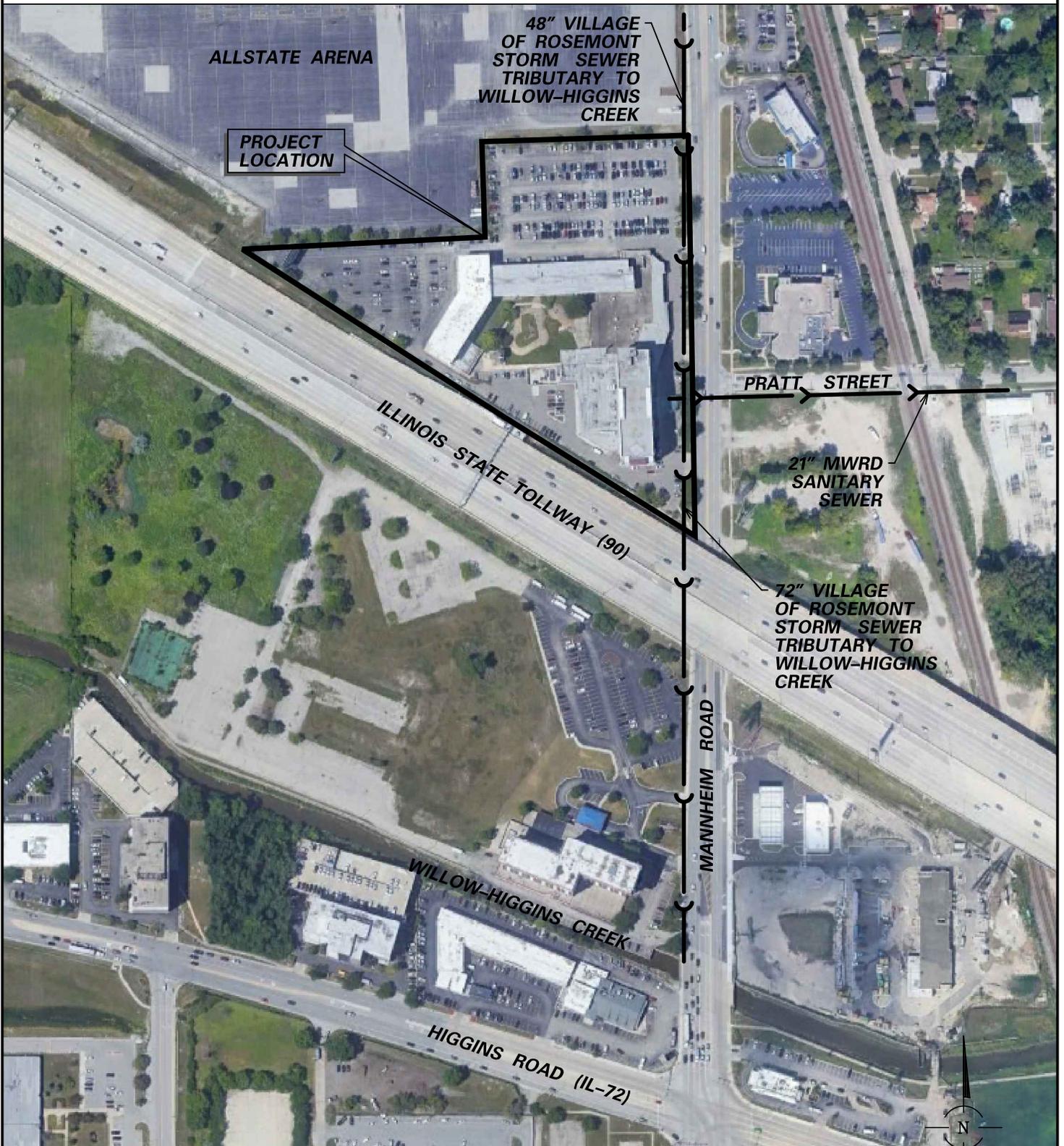
**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04



SANITARY/STORM MAP



N.T.S.



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



PROJECT: 6810 MANNHEIM ROAD DEVELOPMENT
LOCATION: ROSEMONT, IL

PROJECT #: 8055.04
DATE: June-20
LAST REVISED:

EXHIBIT TITLE: USGS MAP
DESCRIPTION: HIGHWOOD QUADRANGLE

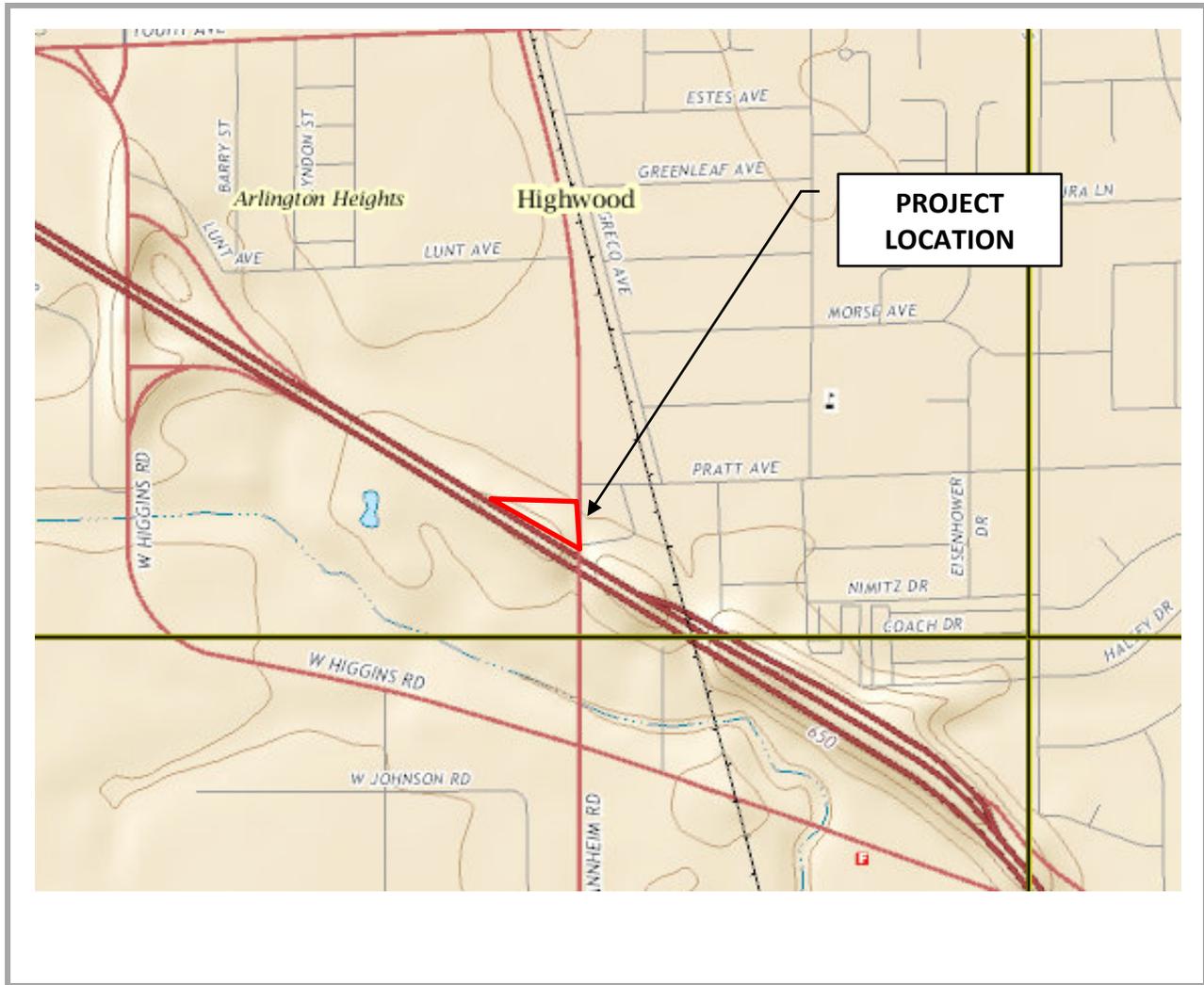


EXHIBIT # 2



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



PROJECT: 6810 MANNHEIM ROAD DEVELOPMENT
LOCATION: ROSEMONT, IL

PROJECT #: 8055.04
DATE: June-20
LAST REVISED:

EXHIBIT TITLE: [NRCS SOIL MAP](#)

DESCRIPTION: URBAN LAND ONLY

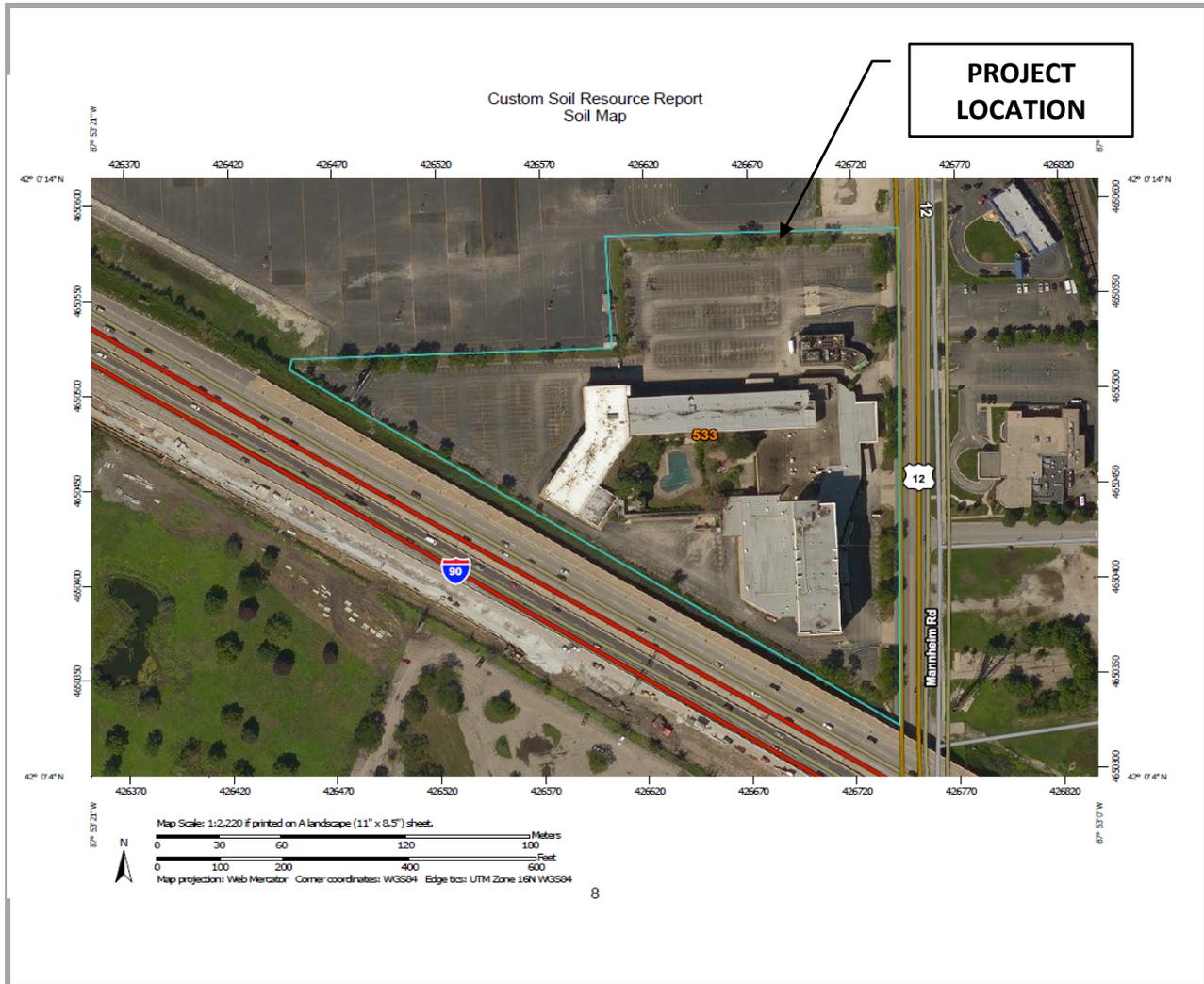
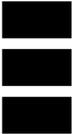


EXHIBIT # 3



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065



PROJECT: 6810 MANNHEIM ROAD DEVELOPMENT
 LOCATION: ROSEMONT, IL

PROJECT #: 8055.04
 DATE: June-20
 LAST REVISED:

EXHIBIT TITLE: [FEMA MAP](#)
 DESCRIPTION: MAP NUMBER 17031C0219J

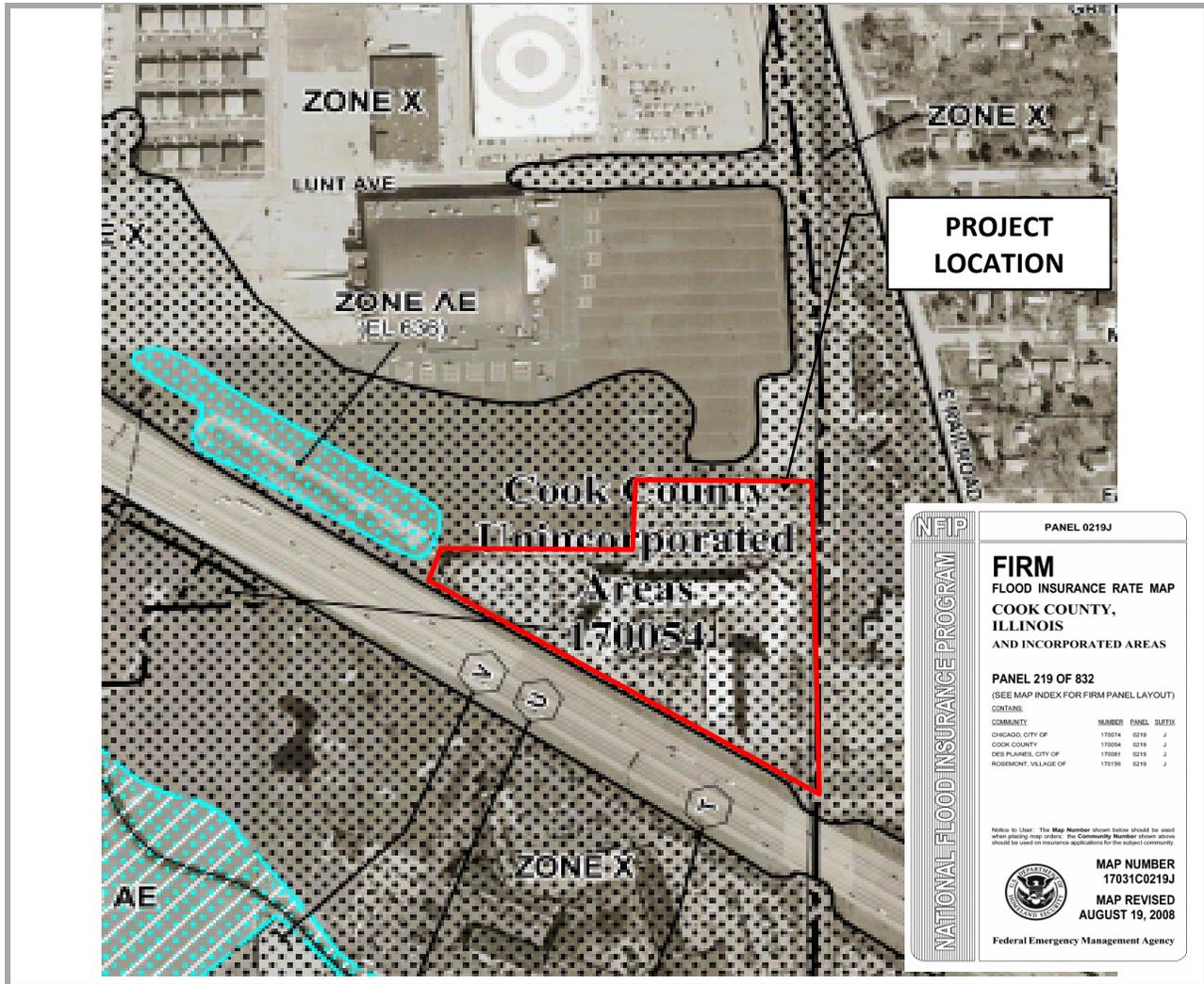


EXHIBIT # 4

PROJECT: 6810 MANNHEIM ROAD DEVELOPMENT
LOCATION: ROSEMONT, IL

PROJECT #: 8055.04
DATE: June-20
LAST REVISED:

EXHIBIT TITLE: MWRD DEPRESSIONAL AREAS
DESCRIPTION: PANEL #0219

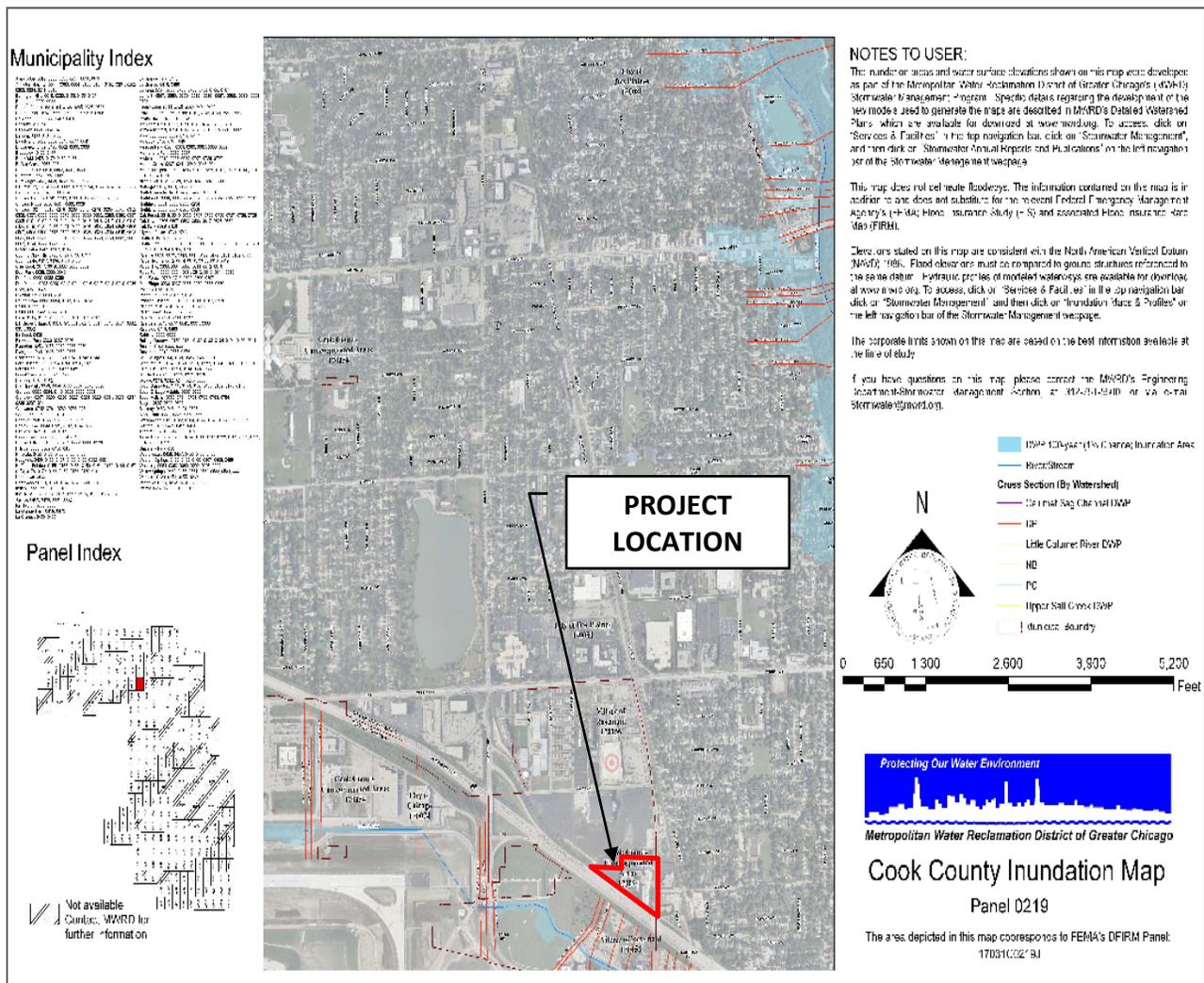


EXHIBIT # 5



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065



PROJECT: 6810 MANNHEIM ROAD DEVELOPMENT
 LOCATION: ROSEMONT, IL

PROJECT #: 8055.04
 DATE: June-20
 LAST REVISED:

EXHIBIT TITLE: [NATIONAL WETLAND INVENTORY MAP](#)
 DESCRIPTION: URBAN LAND ONLY



EXHIBIT # 6



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



PROJECT: 6810 MANNHEIM ROAD DEVELOPMENT
LOCATION: ROSEMONT, IL

PROJECT #: 8055.04
DATE: June-20
LAST REVISED:

EXHIBIT TITLE: [AERIAL MAP](#)
DESCRIPTION: GOOGLE EARTH



EXHIBIT # 7

GREMLEY & BIEDERMANN

A DIVISION OF
PLCS Corporation

PROFESSIONAL LAND SURVEYORS
LICENSE NO. 184-005332

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

ALTA / ACSM Land Title Survey

Parcel 1: The South Quarter of the Southeast Quarter of the Northeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, (except that part taken for Mannheim Road and that part conveyed to the Illinois State Toll Highway Commission by deed recorded as document 16738863) and (except that part taken in Case No. 64L21589), in Cook County, Illinois.

Parcel 2: That part of the East Half of the Southeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, lying Westerly of the West line of Mannheim Road and North of the North line of the Illinois Toll Highway drawn from a point in the East line of said Southeast Quarter, 315.2 feet South of the East Quarter corner of said Section 32 to a point in the North line of said East Half of the Southeast Quarter, 844.84 feet measured on the said North line, East of the Northwest corner of said East Half of the Southeast Quarter of said Section 32 (except that part taken in Case No. 64L21263), in Cook County, Illinois.

Parcel 3: Lots 1 to 4, both inclusive, in Block 2 in Oliver Salinger and Company's First Addition to Glen Acres, being a subdivision of the North 3/4 of the Southeast Quarter of the Northeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, in Cook County, Illinois.

Parcel 4: That part of the South Half of Morse Avenue, vacated by document 26239728, lying North of and adjoining Lots 3 and 4 in Block 2 in Oliver Salinger and Company's First Addition to Glen Acres, being a subdivision of the North 3/4 of the Southeast Quarter of the Northeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, in Cook County, Illinois.

SURVEY NOTES:

PROPERTY ADDRESS: 6810 N. MANNHEIM ROAD, ROSEMONT, ILLINOIS.

AREAS:
PARCEL 1: 225,553 SQ.FT. OR 5.18 ACRES
PARCEL 2: 58,778 SQ.FT. OR 1.37 ACRES
PARCEL 3: 73,312 SQ.FT. OR 1.68 ACRES
PARCEL 4: 6,600 SQ.FT. OR 0.15 ACRES
TOTAL PROPERTY AREA: 365,243 SQ.FT. OR 8.38 ACRES

TOTAL BUILDING FOOTPRINT AREA=97,685 SQ.FT.
NORTH BUILDING AREA=47,718 SQ.FT.
SOUTH BUILDING AREA=49,967 SQ.FT.

ITEMS LISTED IN SCHEDULE B OF CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO: 1401 008489038 D1

ITEMS 1 - 7, 28, 32, 33, 40 AND 41 ARE NOT A MATTERS OF SURVEY.

ITEM H 27. RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR ROAD PURPOSES AND LYING WITHIN MORSE AVENUE AS SHOWN ON PLAT OF SURVEY MADE BY GREMLEY & BIEDERMANN, INC., NUMBER 2004-01133-001, DATED JUNE 11, 2004 AND LAST REVISED MARCH 30, 2005. SHOWN ON SURVEY.

ITEM J 29. RESTRICTIONS AND CONDITIONS CONTAINED IN PLAT OF SAID SUBDIVISION RECORDED AUGUST 22, 1940 AS DOCUMENT 12534397 RELATING TO THE USE, SIZE, CONSTRUCTION, OCCUPATION AND LOCATION OF BUILDINGS TO BE ERRECTED ON PREMISES; RELATING TO THE PITCH OF ROOFS, TO THE ERECTION OF AUXILIARY BUILDINGS, TO THE PAINTING OF EXTERIOR WALLS AND FENCES, PROVIDING FOR THE KIND OF MATERIALS TO BE USED IN THE FOUNDATIONS, CHIMNEYS, WALLS AND ROOFS OF BUILDINGS TO BE ERRECTED ON SAID PREMISES; PROHIBITING THE ERECTION OF OUTHOUSE TOILETS AND PROVIDING FOR THE INSTALLATION OF SEPTIC TANKS AND GREASE TRAPS AND TO THE LOCATION THEREOF; PROVIDING FOR THE DRILLING OF WELLS AND THE LOCATION THEREOF AND PROVIDING THAT WELLS AND WASTE DISPOSAL SYSTEMS SHALL BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE STATE DEPARTMENT OF PUBLIC HEALTH AND AS AMENDED AND MODIFIED BY AGREEMENT DATED MARCH 24, 1941 AS DOCUMENT 12649232 SETTING FORTH THAT NO BUILDING SHALL BE LOCATED OR ERRECTED ON ANY LOT OR BUILDING FOOT PRINT NEARER THAN 47 FEET FROM THE FRONT LOT LINE. NOTE: SAID INSTRUMENT CONTAINS NO PROVISION FOR A FORFEITURE OF OR REVERSION OF TITLE IN CASE OF BREACH OF CONDITION (AFFECTS PARCEL 3)

ITEM K 30. GRANT OF EASEMENT FROM CHICAGO TITLE AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED MAY 29, 1958 AND KNOWN AS TRUST NUMBER 40186 TO CENTRAL TELEPHONE COMPANY OF ILLINOIS DATED MAY 21, 1970 AND RECORDED JUNE 3, 1970 AS DOCUMENT 2117374 TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE FROM TIME TO TIME, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, SOUNDS AND SIGNALS, TOGETHER WITH RIGHT OF ACCESS TO SAME AND RIGHT FROM TIME TO TIME TO REMOVE TREES, BUSHES, ETC., AS MAY BE REASONABLY REQUIRED INCIDENT TO THE GRANT GIVEN IN, OVER, UNDER, ACROSS, ALONG AND UPON THE LAND, (AFFECTS PARCEL 3) PLOTTED.

ITEM L 31. GRANT OF EASEMENT FROM CHICAGO TITLE AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED MAY 29, 1958 AND KNOWN AS TRUST NUMBER 40186 TO THE COMMONWEALTH EDISON COMPANY DATED MAY 21, 1970 AND RECORDED MAY 26, 1970 AS DOCUMENT 21167375 TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE FROM TIME TO TIME, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY TOGETHER WITH RIGHT OF ACCESS TO SAME AND RIGHT TO REMOVE TREES, ETC., REQUIRED INCIDENT TO SAID GRANT GIVEN IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY DESCRIBED AS FOLLOWS: STRIPS OF LAND 10 FEET WIDE AS SHOWN ON SHADED AREA MARKED 'EXHIBIT A' OVER LOT 2 IN BLOCK 2 IN OLIVER SALINGER AND CO'S 1ST ADDITION TO GLEN ACRES A SUBDIVISION IN THE NORTH 1/4 OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. (AFFECTS LOT 2 OF PARCEL 3) PLOTTED.

ITEM O 34. UNRECORDED EASEMENT IN FAVOR OF COMMONWEALTH EDISON COMPANY AS DISCLOSED BY THE ELECTRIC SERVICE STATION AGREEMENT DATED AND BETWEEN COMMONWEALTH EDISON COMPANY AND CHICAGO INN AND HENRIK REST AS EVIDENCED IN THE UTILITY LETTER DATED JANUARY 13, 1996 BY ROBERT D. SLAVIK, DPM-FIELD AGENT FOR THE COMMONWEALTH EDISON COMPANY.

ITEM P 35. UNRECORDED EASEMENT IN FAVOR OF NORTHERN ILLINOIS GAS COMPANY AS EVIDENCED IN THE UTILITY LETTER DATED JANUARY 28, 1998 BY EDWARD G. 'ROURKE, GENERAL REAL ESTATE AGENT, NORTHERN ILLINOIS GAS COMPANY.

ITEM Q 36. RIGHTS OF THE PUBLIC IN AND TO THE CONCRETE PATH LOCATED ALONG THE SOUTHEASTERLY TIP OF PARCEL 2 AND ONTO THE LAND SOUTH AND ADJOINING BY AN UNDISCLOSED AMOUNT AS AS DEPICTED ON SURVEY MADE BY GREMLEY & BIEDERMANN, INC., DATED JUNE 11, 2004 AS ORDER NUMBER 2004-01133-001. SHOWN ON SURVEY.

ITEM R 37. UNRECORDED EASEMENTS IN FAVOR OF PUBLIC AND, OR QUASI-PUBLIC UTILITY COMPANIES OVER THAT PART OF THE LAND MARKED WITH MANHOLES, BASINS, POLES, VALVES AND VAULTS, TRANSFORMER PAD, HYDRANTS, AERIAL WIRES, AS DISCLOSED BY THE PLAT OF SURVEY MADE BY GREMLEY & BIEDERMANN DATED JUNE 11, 2004 AS ORDER NUMBER 2004-01133-001. SHOWN ON SURVEY.

ITEM S 38. ENCROACHMENT OF THE PARKING SPACES OVER AND ONTO THE EASEMENTS RECORDED AS DOCUMENT 21173754 AND AS DOCUMENT 21167375 ENCROACHMENT OF THE CONCRETE CURBS OVER AND ONTO SAID EASEMENTS AS DISCLOSED BY THE PLAT OF SURVEY MADE BY GREMLEY & BIEDERMANN, DATED JUNE 11, 2004 AS ORDER NUMBER 2004-01133-001. SHOWN ON SURVEY.

ITEM AC 39. ENCROACHMENT OF THE GUARD RAIL LOCATED MAINLY ON THE LAND ONTO THE PROPERTY NORTH AND ADJOINING BY VARYING DISTANCES, AS SHOWN THE PLAT OF SURVEY MADE BY GREMLEY & BIEDERMANN, INC., NUMBER 2004-01133-001, DATED JUNE 11, 2004 AND LAST REVISED MARCH 30, 2005. SHOWN ON SURVEY.

State of Illinois
County of Cook

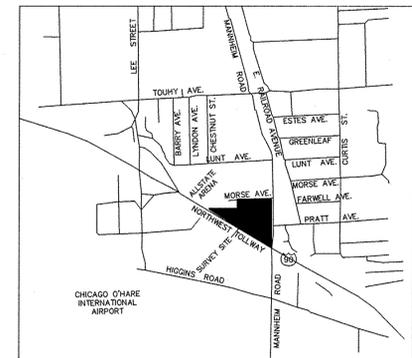
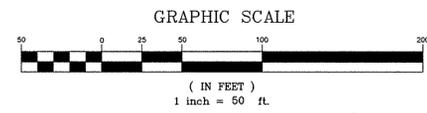
This is to certify to MEHP O'Hare Ownership LLC, Wi-Fi O'Hare, LLC and Chicago Title Insurance Company that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes Items 1, 2, 3, 4, 7A, 8, 9, 10 and 11A of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Illinois, the Relative Positional Accuracy of this survey does not exceed that which is specified therein. This Survey was prepared based on Chicago Title Insurance Company Title Commitment No: 1401 008489038 D1 Effective Date: MARCH 4, 2011 as to matters of record.

Field measurements completed on APRIL 19, 2011.

Signed on April 20, 2011

By: *Robert G. Biedermann*

Professional Illinois Land Surveyor # 2802
My license expires November 30, 2012.



- Storm MH
- Storm CB
- Storm Inlet
- San MH
- San Clean Out
- Water Valve
- Water Valve Vault
- Water MH
- Water Buffalo Box
- Water Hand Hole
- Water Meter
- Water Fire Hydrant
- Telephone Pole
- Telephone MH
- Telephone Vault
- Telephone Pedestal
- Electric Utility Pole
- Electric MH
- Electric Vault
- Electric Meter
- Electric Pad
- Electric Pedestal
- Electric Light Pole
- Electric Light Pole with Traffic Signal
- Electric Traffic Control Box
- Gas Valve
- Gas MH
- Gas Vault
- Gas Buffalo Box
- Cable TV Pedestal
- Tree - Deciduous
- Tree - Evergreen
- Parking Meter
- Sign Post
- Mail Box
- Bumper Post
- Guy Anchor
- Soil Boring
- Monumentation Found
- Monumentation Established
- Unclassified Manhole

PROPOSED EASEMENTS
SEE PAGE 2 FOR DETAILS

SURVEY NOTES (CONTINUED):

FLOOD ZONES DEPICTED HEREON ARE SCALED FROM FLOOD INSURANCE RATE MAP NOTED BELOW.

PROPERTY APPEARS IN "OTHER FLOOD AREAS" ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD PER FLOOD INSURANCE RATE MAP COOK COUNTY, ILLINOIS, AND INCORPORATED AREAS MAP NO. 17031C0219J, EFFECTIVE DATE AUGUST 19, 2008.

INGRESS AND EGRESS IS PROVIDED TO THE PROPERTY FROM MANNHEIM ROAD

500 REGULAR PARKING SPACES
9 HANDICAPPED PARKING SPACES

THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

THERE ARE NO VISIBLE CHANGES IN STREET RIGHT OF WAY LINES COMPLETED AND AVAILABLE FROM THE CONTROLLING JURISDICTION OR OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.

NO dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

COPYRIGHT GREMLEY & BIEDERMANN, INC. 2011 "All Rights Reserved"

REVISED APRIL 19, 2011 REVIEWED WITH TITLE AND ADDED PROPOSED EASEMENT LOWER LIMIT ELEVATION PER ORDER NO. 2011-15051 RECERTIFIED TO ALTA NOVEMBER 10, 2010 FOR CLEAR CHANNEL OUTDOOR AND ADDED PROPOSED EASEMENTS PER ORDER NO. 2010-14552 RECERTIFIED TO ALTA AUGUST 24, 2009 FOR HOLLAND & KNIGHT AS PER ORDER No. 2009-13103 (AF)

ORDERED BY: GRAFIN INC. CHECKED: DRAWN: RL
ADDRESS: 6810 N. MANNHEIM ROAD

GREMLEY & BIEDERMANN
A DIVISION OF
PLCS CORPORATION
PROFESSIONAL LAND SURVEYORS
LICENSE NO. 184-005332
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

ORDER NO. **2009-12768-001** DATE: MAY 28, 2009 PAGE NO. 1 OF 2
SCALE: 1" = 50 FEET

© CAD\2001\101258.dwg 2009-12768-001.dwg

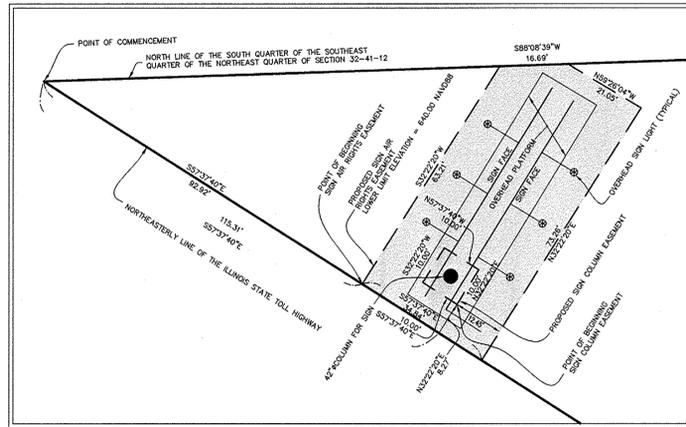
GREMLEY & BIEDERMANN

A DIVISION OF
PLCS Corporation
LICENSE No. 184-005322

PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

ALTA / ACSM Land Title Survey PROPOSED EASEMENTS



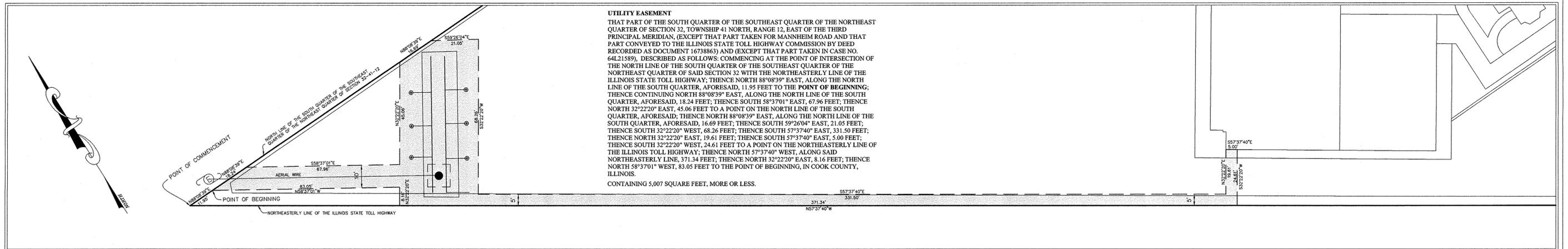
SIGN EASEMENT DETAILS
SCALE 1"=20'

SIGN AIR RIGHTS EASEMENT
THAT PART OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THAT PART TAKEN FOR MANNHEIM ROAD AND THAT PART CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION BY DEED RECORDED AS DOCUMENT 16738863) AND (EXCEPT THAT PART TAKEN IN CASE NO. 64L21589), LYING ABOVE A HORIZONTAL PLANE HAVING AN ELEVATION OF +640.00 FEET NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND LYING WITHIN ITS HORIZONTAL BOUNDARY PROJECTED VERTICALLY AND DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 32 WITH THE NORTHEASTERLY LINE OF THE ILLINOIS STATE TOLL HIGHWAY; THENCE SOUTH 57°37'40" EAST, ALONG SAID NORTHEASTERLY LINE, 92.92 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 57°37'40" EAST, ALONG SAID NORTHEASTERLY LINE, 34.84 FEET; THENCE NORTH 32°22'20" EAST, 73.26 FEET; THENCE NORTH 59°26'04" WEST, 21.05 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 32; THENCE SOUTH 88°08'39" WEST, ALONG THE NORTH LINE OF THE SOUTH QUARTER, AFORESAID, 16.69 FEET; THENCE SOUTH 32°22'20" WEST, 63.21 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

CONTAINING 2,471 SQUARE FEET, MORE OR LESS.

SIGN COLUMN EASEMENT
THAT PART OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THAT PART TAKEN FOR MANNHEIM ROAD AND THAT PART CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION BY DEED RECORDED AS DOCUMENT 16738863) AND (EXCEPT THAT PART TAKEN IN CASE NO. 64L21589), LYING ABOVE A HORIZONTAL PLANE HAVING AN ELEVATION OF +640.00 FEET NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND LYING WITHIN ITS HORIZONTAL BOUNDARY PROJECTED VERTICALLY AND DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 32 WITH THE NORTHEASTERLY LINE OF THE ILLINOIS STATE TOLL HIGHWAY; THENCE SOUTH 57°37'40" EAST, ALONG SAID NORTHEASTERLY LINE, 115.31 FEET; THENCE NORTH 32°22'20" EAST, 8.27 FEET TO THE POINT OF BEGINNING; THENCE NORTH 32°22'20" EAST, 10.00 FEET; THENCE NORTH 57°37'40" WEST, 10.00 FEET; THENCE SOUTH 32°22'20" WEST, 10.00 FEET; THENCE SOUTH 57°37'40" EAST, 10.00 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

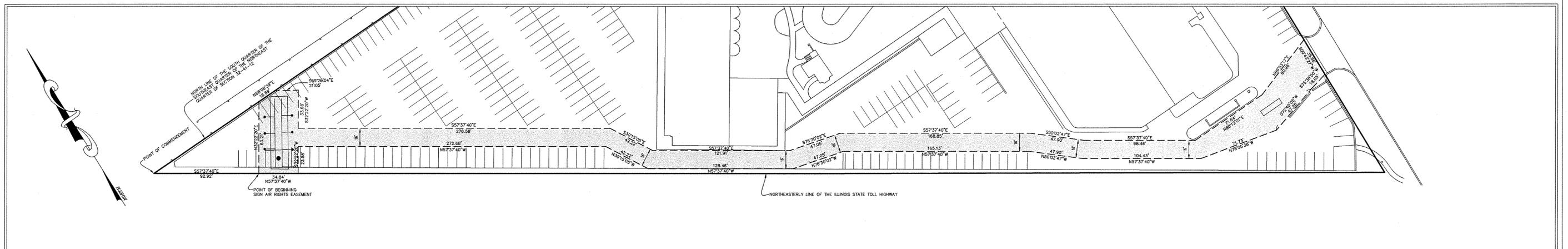
CONTAINING 100 SQUARE FEET, MORE OR LESS.



UTILITY EASEMENT DETAILS
SCALE 1"=20'

UTILITY EASEMENT
THAT PART OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THAT PART TAKEN FOR MANNHEIM ROAD AND THAT PART CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION BY DEED RECORDED AS DOCUMENT 16738863) AND (EXCEPT THAT PART TAKEN IN CASE NO. 64L21589), DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 32 WITH THE NORTHEASTERLY LINE OF THE ILLINOIS STATE TOLL HIGHWAY; THENCE NORTH 88°08'39" EAST, ALONG THE NORTH LINE OF THE SOUTH QUARTER, AFORESAID, 11.95 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 88°08'39" EAST, ALONG THE NORTH LINE OF THE SOUTH QUARTER, AFORESAID, 18.24 FEET; THENCE SOUTH 58°37'01" EAST, 67.96 FEET; THENCE NORTH 32°22'20" EAST, 45.06 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH QUARTER, AFORESAID; THENCE NORTH 88°08'39" EAST, ALONG THE NORTH LINE OF THE SOUTH QUARTER, AFORESAID, 16.69 FEET; THENCE SOUTH 59°26'04" EAST, 21.05 FEET; THENCE SOUTH 32°22'20" WEST, 68.26 FEET; THENCE SOUTH 57°37'40" EAST, 331.50 FEET; THENCE NORTH 32°22'20" EAST, 19.61 FEET; THENCE SOUTH 57°37'40" EAST, 5.00 FEET; THENCE SOUTH 32°22'20" WEST, 24.61 FEET TO A POINT ON THE NORTHEASTERLY LINE OF THE ILLINOIS TOLL HIGHWAY; THENCE NORTH 57°37'40" WEST, ALONG SAID NORTHEASTERLY LINE, 371.34 FEET; THENCE NORTH 32°22'20" EAST, 8.16 FEET; THENCE NORTH 58°37'01" WEST, 83.05 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

CONTAINING 5,007 SQUARE FEET, MORE OR LESS.



ACCESS ROAD EASEMENT DETAILS
SCALE 1"=40'

ACCESS ROAD EASEMENT
THAT PART OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THAT PART TAKEN FOR MANNHEIM ROAD AND THAT PART CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION BY DEED RECORDED AS DOCUMENT 16738863) AND (EXCEPT THAT PART TAKEN IN CASE NO. 64L21589), TOGETHER WITH THAT PART THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WESTERLY OF THE WEST LINE OF MANNHEIM ROAD AND NORTH OF THE NORTH LINE OF THE ILLINOIS TOLL HIGHWAY DRAWN FROM A POINT IN THE EAST LINE OF SAID SOUTHEAST QUARTER, 315.2 FEET SOUTH OF THE EAST QUARTER CORNER OF SAID SECTION 32 TO A POINT IN THE NORTH LINE OF SAID EAST HALF OF THE SOUTHEAST QUARTER, 844.84 FEET MEASURED ON THE SAID NORTH LINE, EAST OF THE NORTHWEST CORNER OF SAID EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 32 (EXCEPT THAT PART TAKEN IN CASE NO. 64L21263), ALL TAKEN AS A TRACT AND DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE SOUTH QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 32 WITH THE NORTHEASTERLY LINE OF THE ILLINOIS STATE TOLL HIGHWAY; THENCE SOUTH 57°37'40" EAST, ALONG SAID NORTHEASTERLY LINE, 92.92 FEET TO THE POINT OF BEGINNING; THENCE NORTH 32°22'20" EAST, 63.21 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH QUARTER, AFORESAID; THENCE NORTH 88°08'39" EAST, ALONG THE NORTH LINE OF THE SOUTH QUARTER, AFORESAID, 16.69 FEET; THENCE SOUTH 59°26'04" EAST, 21.05 FEET; THENCE SOUTH 32°22'20" WEST, 33.68 FEET; THENCE SOUTH 57°37'40" EAST, 276.58 FEET; THENCE SOUTH 30°15'05" EAST, 42.22 FEET; THENCE SOUTH 57°37'40" EAST, 121.91 FEET;

ACCESS ROAD EASEMENT (CONTINUED)
THENCE SOUTH 76°30'02" EAST, 47.05 FEET; THENCE SOUTH 57°37'40" EAST, 168.85 FEET; THENCE NORTH 88°12'01" EAST, 71.64 FEET; THENCE NORTH 69°53'17" EAST, 60.96 FEET TO THE WEST LINE OF MANNHEIM ROAD; THENCE SOUTH 00°43'27" WEST, ALONG THE WEST LINE OF MANNHEIM ROAD, 35.66 FEET; THENCE SOUTH 75°36'50" WEST, 18.05 FEET; THENCE SOUTH 72°45'05" WEST, 47.26 FEET; THENCE NORTH 78°05'38" WEST, 71.73 FEET; THENCE NORTH 57°37'40" WEST, 104.43 FEET; THENCE NORTH 50°02'47" WEST, 47.90 FEET; THENCE NORTH 57°37'40" WEST, 165.13 FEET; THENCE NORTH 76°30'02" WEST, 47.05 FEET; THENCE NORTH 57°37'40" WEST, 128.46 FEET; THENCE NORTH 30°15'05" WEST, 42.22 FEET; THENCE NORTH 57°37'40" WEST, 272.68 FEET; THENCE SOUTH 32°22'20" WEST, 23.58 FEET TO THE NORTHEASTERLY LINE OF THE ILLINOIS STATE TOLL HIGHWAY, AFORESAID; THENCE CONTINUING NORTH 57°37'40" WEST, ALONG SAID NORTHEASTERLY LINE, 34.84 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

CONTAINING 19,119 SQUARE FEET, MORE OR LESS.

REVISED APRIL 19, 2011 REVIEWED WITH TITLE AND ADDED PROPOSED EASEMENT LOWER LIMIT ELEVATION PER ORDER NO. 2011-15051

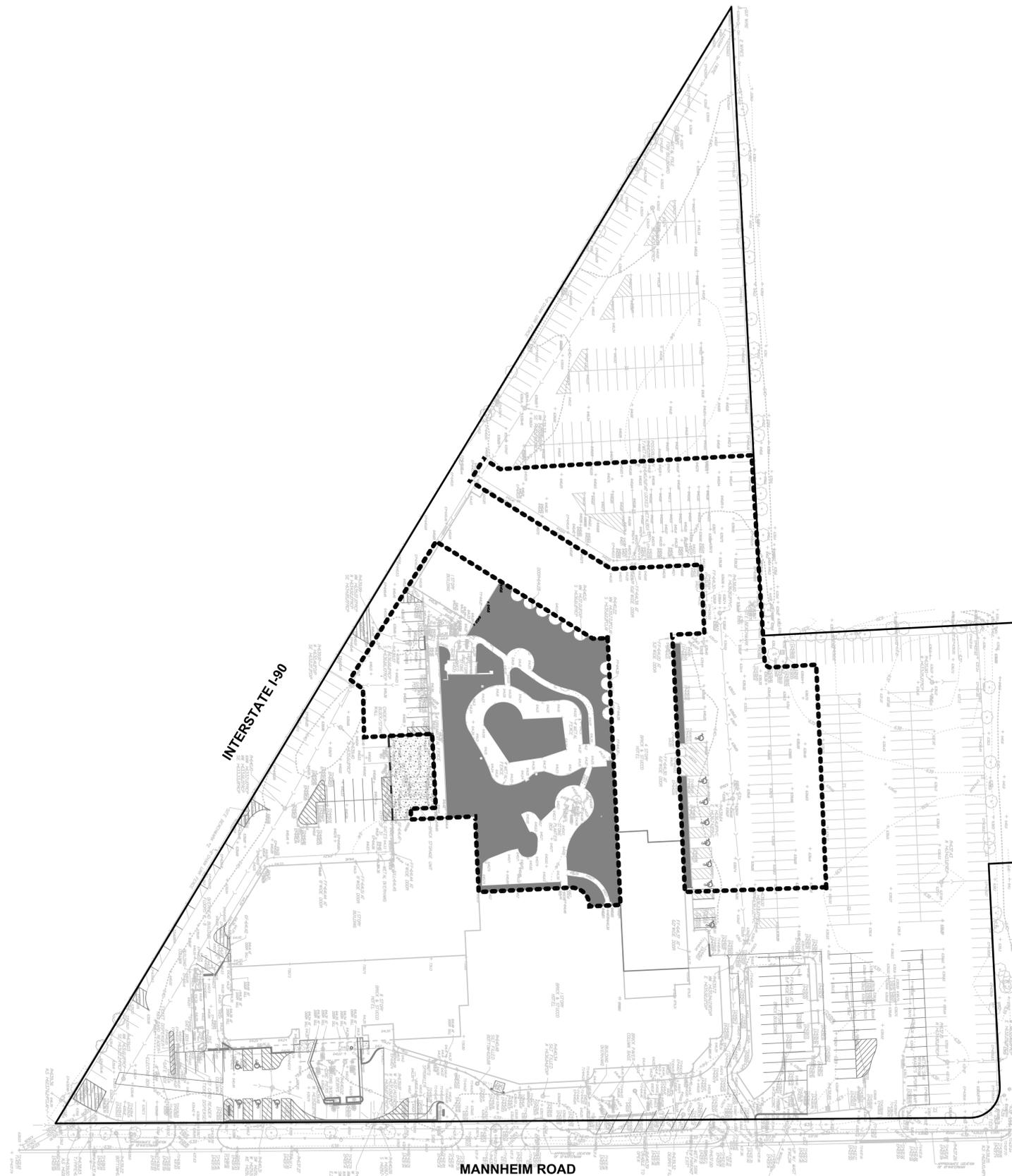
RECERTIFIED TO ALTA NOVEMBER 10, 2010 FOR CLEAR CHANNEL OUTDOOR AND ADDED PROPOSED EASEMENTS PER ORDER NO. 2010-14552

ORDERED BY: GRAFIN INC. CHECKED: DRAWING
ADDRESS: 6810 N. MANNHEIM ROAD RL
GREMLEY & BIEDERMANN
PLCS CORPORATION
LICENSE No. 184-005322
PROFESSIONAL LAND SURVEYORS
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

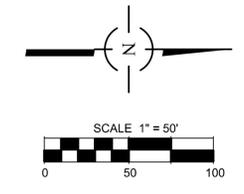
ORDER NO. DATE: MAY 28, 2009 PAGE NO.
2009-12768-001 SCALE: 1 INCH = 50 FEET 2 OF 2

G:\CAD\2001\101258\dwg\2009-12768-001.dwg

CITY OF DES PLAINE BENCHMARK # 76
ELEVATION = 638.255
LOCATION:
MONUMENT SET IN CONCRETE AT N.E. CORNER OF PRATT AVE AND
MANNHEIM RD. 12' NORTH OF E/P OF PRATT AND 18' EAST OF E/P OF
MANNHEIM
VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



LEGEND
 [White Box] IMPERVIOUS AREA
 [Dark Grey Box] PERVIOUS AREA
 [Dashed Line] LIMITS OF DISTURBANCE



SUMMARY:
 TOTAL PARCEL AREA = 365,033 S.F. (8.38 AC.)
 IMPERVIOUS AREA = 65,280 S.F.
 PERVIOUS AREA = 21,480 S.F.
 TOTAL DISTURBED AREA = 86,760 S.F. (2.00 AC.)

| NO | DATE | REMARKS |
|----|------|---------|
| | | |
| | | |
| | | |
| | | |

| NO | DATE | REMARKS |
|----|------|---------|
| | | |
| | | |
| | | |
| | | |

EXISTING IMPERVIOUS AREA EXHIBIT
8610 MANNHEIM ROAD DEVELOPMENT
 ROSEMONT, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-0060 Fax: (847) 696-4065



FILENAME:
8055.04-EX-IMP-EXH
 DATE:
06/08/2020
 JOB NO.
8055.04

SHEET
EX-IMP
 1 OF 1

TAB 3

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04





CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

PROJECT: **6810 MANNHEIM ROAD DEVELOPMENT**
 LOCATION: **MARKHAM, ILLINOIS**

PROJECT #: 8055.04
 DATE: June-20
 LAST REVISED:

CALCULATION TITLE: **TIME OF CONCENTRATION CALCULATION**
 DESCRIPTION: **TRIBUTARY TO STORM SEWER**
 SITE CONDITION: **EXISTING**

SHEET FLOW

1. SURFACE DESCRIPTION (TABLE 3-1)
2. MANNING'S ROUGHNESS COEFF., n (TABLE 3-1)
3. **FLOW LENGTH, L (TOTAL <= 100 FT)**
4. TWO-YR 24-HR RAINFALL, P2
5. LAND SLOPE, S

$$6. T_t = \frac{0.007 (nL)^{0.8}}{P_2^{0.5} S^{0.4}}$$

SHALLOW CONCENTRATED FLOW

7. SURFACE DESCRIPTION (TABLE 3-1)
8. FLOW LENGTH, L
9. LAND SLOPE, S
10. AVERAGE VELOCITY (FIGURE 3-1)

$$11. T_t = \frac{L}{3600 V}$$

CHANNEL FLOW

12. CROSS SECTIONAL FLOW AREA
13. WETTED PERIMETER, P_w
14. HYDRAULIC RADIUS, r = a/P_w
15. CHANNEL SLOPE, s
16. MANNINGS ROUGHNESS COEFF., n

$$17. V = \frac{1.49 r^{2/3} s^{1/2}}{n}$$

18. FLOW LENGTH, L

$$19. T_t = \frac{L}{3600 V}$$

20. WATERSHED OR SUBAREA TC OR T_t TOTAL

| | | |
|------------|----------|-----|
| SEGMENT ID | 1 | |
| | | HR |
| | | MIN |

| | | |
|------------|----------|-------|
| SEGMENT ID | 2 | |
| | | FT |
| | | FT/FT |
| | | FT/S |
| | | HR |
| | | MIN |

| | | |
|------------|----------|-------|
| SEGMENT ID | 3 | |
| | | S.F. |
| | | FT |
| | | FT/FT |
| | | FT/S |
| | | FT |
| | | HR |
| | | MIN |

| | | |
|--|-----|---------|
| | HR | #VALUE! |
| | MIN | #VALUE! |

INDUSTRIAL USE 10 MIN



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

PROJECT: **6810 MANNHEIM ROAD DEVELOPMENT**
 LOCATION: **MARKHAM, ILLINOIS**

PROJECT #: 8055.04
 DATE: June-20
 LAST REVISED:

CALCULATION TITLE: **TIME OF CONCENTRATION CALCULATION**
 DESCRIPTION: **TRIBUTARY TO STORM SEWER**
 SITE CONDITION: **PROPOSED**

SHEET FLOW

1. SURFACE DESCRIPTION (TABLE 3-1)
2. MANNING'S ROUGHNESS COEFF., n (TABLE 3-1)
3. **FLOW LENGTH, L (TOTAL <= 100 FT)**
4. TWO-YR 24-HR RAINFALL, P2
5. LAND SLOPE, S

$$6. T_t = \frac{0.007 (nL)^{0.8}}{P_2^{0.5} S^{0.4}}$$

| | | |
|------------|----------|-----|
| SEGMENT ID | 1 | |
| | | HR |
| | | MIN |

SHALLOW CONCENTRATED FLOW

7. SURFACE DESCRIPTION (TABLE 3-1)
8. FLOW LENGTH, L
9. LAND SLOPE, S
10. AVERAGE VELOCITY (FIGURE 3-1)

$$11. T_t = \frac{L}{3600 V}$$

| | | |
|------------|----------|-------|
| SEGMENT ID | 2 | |
| | | FT |
| | | FT/FT |
| | | FT/S |
| | | HR |
| | | MIN |

CHANNEL FLOW

12. CROSS SECTIONAL FLOW AREA
13. WETTED PERIMETER, P_w
14. HYDRAULIC RADIUS, r = a/P_w
15. CHANNEL SLOPE, s
16. MANNINGS ROUGHNESS COEFF., n

$$17. V = \frac{1.49 r^{2/3} s^{1/2}}{n}$$

18. FLOW LENGTH, L

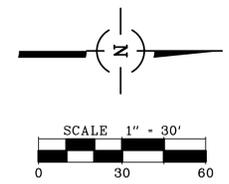
$$19. T_t = \frac{L}{3600 V}$$

| | | |
|------------|----------|-------|
| SEGMENT ID | 3 | |
| | | S.F. |
| | | FT |
| | | FT/FT |
| | | FT/S |
| | | FT |
| | | HR |
| | | MIN |

20. WATERSHED OR SUBAREA TC OR T_t TOTAL

| | | |
|--|-----|---------|
| | HR | #VALUE! |
| | MIN | #VALUE! |

INDUSTRIAL USE 10 MIN

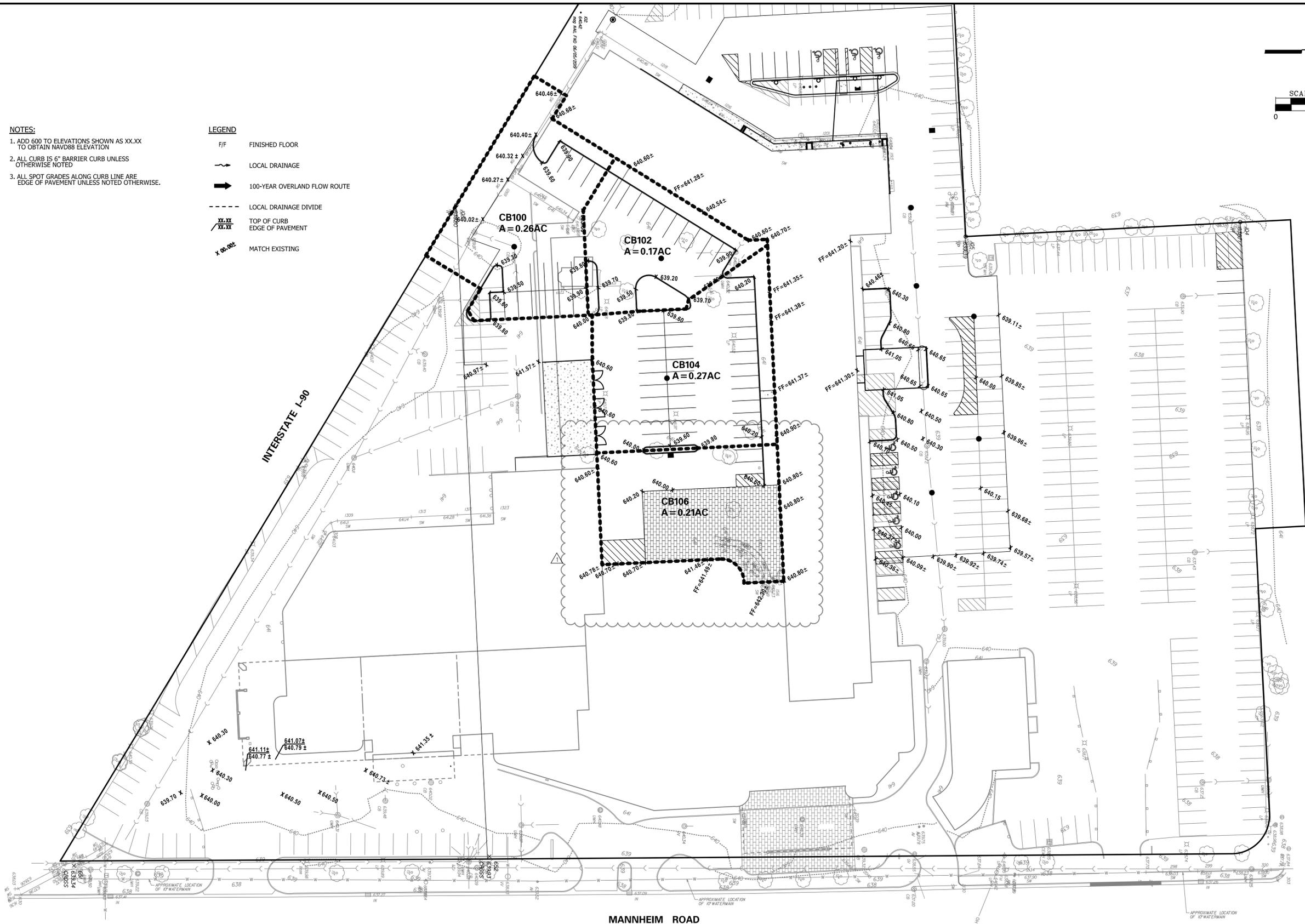


NOTES:

1. ADD 600 TO ELEVATIONS SHOWN AS XX.XX TO OBTAIN NAVD88 ELEVATION
2. ALL CURB IS 6" BARRIER CURB UNLESS OTHERWISE NOTED
3. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

LEGEND

- F/F FINISHED FLOOR
- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB
EDGE OF PAVEMENT
- MATCH EXISTING



| NO. | DATE | REMARKS |
|-----|------|---------|
| | | |
| | | |

| NO. | DATE | REVISIONS PER MWRD |
|-----|----------|--------------------|
| 1 | 10/09/20 | REVISIONS PER MWRD |

INLET AREA MAP
6810 MANNHEIM ROAD DEVELOPMENT
ROSEMONT, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-1060 Fax: (847) 696-1065



SPACECO INC.

FILENAME:
8805_04IAM

DATE:
06/08/2020

JOB NO.
8055.04

SHEET
IAM
1 OF 1

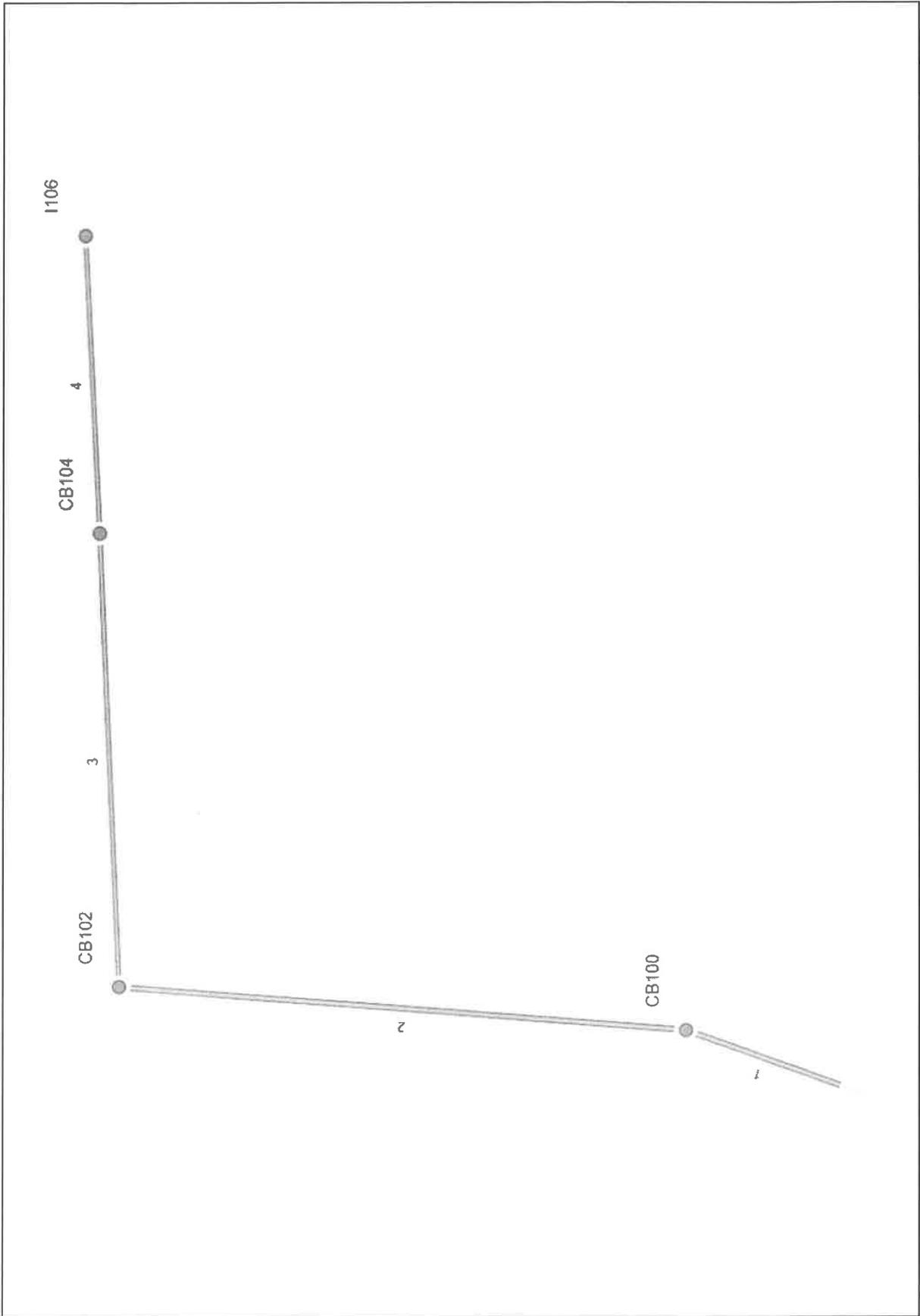
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Plan View

Stormwater Studio 2020 v 3.0.0.21

Project Name: Enter Project Name...

10-08-2020



Project File: SYSTEM 100.sws

Storm Sewer Tabulation

Stormwater Studio 2020 v 3.0.0.21

Project Name: Enter Project Name...

10-08-2020

| Line ID | Length (ft) | Drng Area (ac) | | Rational (C) | C x A | | Tc (min) | | Intensity (in/hr) | Total Q (cfs) | Capacity (cfs) | Velocity (ft/s) | Line | | Invert Elev (ft) | | HGL Elev (ft) | | Surface Elev (ft) | | Line No |
|-------------|-------------|----------------|-------|--------------|-------|-------|----------|-------|-------------------|---------------|----------------|-----------------|-----------|-----------|------------------|--------|---------------|--------|-------------------|--------|---------|
| | | Incr | Total | | Incr | Total | Inlet | Syst | | | | | Size (in) | Slope (%) | Up | Dn | Up | Dn | Up | Dn | |
| EXMH-CB100 | 28.00 | 0.260 | 0.810 | 0.90 | 0.23 | 0.73 | 10.0 | 10.87 | 6.55 | 4.77 | 4.82 | 4.48 | 15 | 0.40 | 634.96 | 634.85 | 635.98 | 635.86 | 639.00 | 639.99 | 1 |
| CB100-CB102 | 97.00 | 0.170 | 0.550 | 0.90 | 0.15 | 0.50 | 10.0 | 10.49 | 6.65 | 3.29 | 4.86 | 2.70 | 15 | 0.41 | 635.35 | 634.96 | 636.55 | 636.38 | 639.00 | 639.00 | 2 |
| CB102-CB104 | 78.00 | 0.170 | 0.380 | 0.90 | 0.15 | 0.34 | 10.0 | 10.16 | 6.74 | 2.30 | 2.82 | 2.93 | 12 | 0.45 | 632.37 | 632.02 | 636.89 | 636.66 | 639.00 | 639.00 | 3 |
| CB104-I106 | 51.00 | 0.210 | 0.210 | 0.90 | 0.19 | 0.19 | 10.0 | 10.00 | 6.78 | 1.28 | 4.92 | 2.01 | 12 | 1.37 | 636.40 | 635.70 | 637.05 | 637.03 | 639.60 | 639.00 | 4 |

Notes: IDF File = BULL 70Modified-2020.idf, Return Period = 10-yrs.

Project File: SYSTEM 100.sws

TAB 4

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04



There is currently no stormwater detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

TAB 5

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04



There is currently no stormwater detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

TAB 6

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04



Schedule and Description of Maintenance for the Sediment and Erosion Control Plan

Construction will commence with the installation of silt fence that will act as a filter between the site construction and the adjacent properties, followed by installation of additional erosion control measures to be designed as part of the construction documents. Erosion control measures will remain in place and will be maintained until the site has been stabilized at which time they will be removed.

The erosion control measures shall be installed prior to initial land disturbance activities or as soon as practical. Specific measures will be included in the construction documents.

Except when prevented by inclement weather conditions, all disturbed areas to remain inactive for more than 14 days will be stabilized by seeding, sodding, mulching, covering, or equivalent erosion control measures, within seven days.

Permanent soil stabilization shall be provided for all disturbed areas within seven days after final grade is established.

All temporary erosion and sediment control practices shall be removed and disposed of within thirty days after final site stabilization is achieved or after the temporary practices are no longer necessary. Trapped sediment shall be permanently stabilized to prevent further erosion.

See Schedule P for detailed information on Erosion Control.

SCHEDULE P
SOIL EROSION AND SEDIMENT CONTROL

WMO Permit Number: _____

NAME OF PROJECT: 6810 Mannheim Road Development

1. PROJECT INFORMATION:

A. Project Area (include all disturbed area) 2.00 acres

B. Stormwater discharges directly to:

Storm Sewer

Combined Sewer

Overland Flow Route

Waters of the State → Name of water body: _____

Other → Explain: _____

C. Indicate if any of the following special circumstances apply (check all that apply):

Volume Control Facility Wetland / Buffer Outfall to Waterway

Floodplain / Floodway Riparian Environment Tributary to Lake Michigan

D. Explain how special circumstances indicated in Item 1.C will be protected from erosion and sedimentation:

N/A

2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES: Submit a soil erosion and sediment control plan indicating type, location, and detail for all practices. Include a sequence for all major construction activities. All practices must be constructed in accordance with the Illinois Urban Manual.

A. Indicate all temporary soil erosion and sediment control practices installed as part of the project:

Entrance / Exit Control Vegetative Control Filtration for Dewatering

Concrete Washout Matting / Mulching Conveyance Channel

Silt Fence Coir Roll Velocity Dissipation

Double-Row Silt Fence Sediment Trap Cofferdam / Silt Curtain

Inlet Control Sediment Basin

Other: _____

Other: _____

B. Indicate all permanent soil erosion control practices installed as part of the project:

Vegetative Control Velocity Dissipation

Other: _____

Other: _____

TAB 7

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04



There is no floodplain located on the project site, as shown on the FIRM map, Tab 2, Exhibit 4; therefore, this tab is not applicable.

TAB 8

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

**PREPARED FOR
HOTEL MANNHEIM CHICAGO, LLC**

**PREPARED BY
SPACECO, INC.
9575 W. HIGGINS ROAD, SUITE 700
ROSEMONT, IL 60018**

SPACECO PROJECT # 8055.04



There are no wetlands located on the project site, as shown on the National Wetland Inventory Map (Tab 2, Exhibit 6). Therefore, this tab is not applicable.

TAB 9

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
6810 MANNHEIM RD DEVELOPMENT
VILLAGE OF ROSEMONT, COOK COUNTY, IL**

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There is no riparian area located on the project site; therefore, this tab is not applicable.

TAB 10

**STORMWATER MANAGEMENT PERMIT APPLICATION
FOR
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Maintenance & Monitoring Requirements

Temporary Soil Erosion & Sediment Control

1. Soil Erosion and Sediment Control

The contractor will maintain all erosion control measures for the duration of the construction activity. Erosion control measures for the proposed development are included in the plan set. At the completion of construction, the contractor will coordinate the transfer of maintenance responsibilities. Maintenance activities will be performed in accordance with the Illinois Environmental Protection Agency Standards and Specifications for Soil Erosion and Sediment control, 1987.

Except as prevented by inclement weather conditions, all disturbed areas to remain active for more than 14 days will be stabilized by seeding, sodding, mulching, covering, or by other equivalent erosion control measures within seven days. Permanent soil stabilization shall be provided within seven days after final grading is completed.

All temporary erosion and sediment control practices will be removed and disposed of within thirty days after final stabilization is achieved or after the temporary practices are no longer needed.

Permanent

1. General

Regular inspections and routine maintenance of general areas shall be performed on a monthly or as-needed basis. Specific items of concern include:

- _____ Litter and debris shall be controlled
- _____ Landscaped areas shall be maintained with regular mowing and restored with appropriate seeding/vegetation as necessary
- _____ Accumulated sediment shall be disposed of properly, along with any wastes generated during maintenance operations
- _____ Roads shall be swept, vacuumed and/or washed on a regular basis

2. Stormwater Collection System

The Owner shall perform monthly inspections of all components of the stormwater collection system. The monthly inspections shall occur between March and November and include the following specific areas of concern:

Storm Inlets/Manholes

- _____ Remove accumulated leaves and other debris from grates
- _____ Reset covers/lids on as-needed basis
- _____ Remove accumulated sediment from bottom of manhole when 50% of sump is filled

Storm Sewers/Culverts

- _____ Visually inspect pipes by removing manhole lids, make repairs as necessary
- _____ Storm sewers and culverts shall be checked for siltation deposits at inlets, outlets, and within the conduit, clean out as necessary
- _____ Restore riprap at outfalls if erosion observed
- _____ Restore riprap at outfalls
- _____ Replant and reseed any eroded areas

Overland Flow Routes (Ditches/Swales)

- _____ Annual visual inspections shall be performed that verify the design capacity of the overland flow routes is maintained. The slope and cross-sectional area of the ditch/swale shall be verified during this inspection

- _____ Remove any obstruction that have been placed in the drainage path
- _____ Seed and sod any eroded areas
- _____ Regrade to provide positive drainage as necessary (A Professional Land Surveyor may be required to check grades to ensure positive drainage)
- _____ Regular mowing to control vegetation

3. Vegetated Areas

- _____ Need for planting, reseeding, or sodding. Supplement alternative native vegetation if a significant portion has not established (50% of the surface area after second growing season). Reseed with alternative native grass species if original grass cover has not successfully established
- _____ Evidence of grazing, motorbiked, or other vehicles, repair
- _____ Check for invasive vegetation, remove when possible
- _____ Regular mowing to control vegetation it is recommended that native vegetation remain uncut
- _____ Dead or damaged non-native grassy areas _ repair with seeding with fertilization or seeding with mulch

4. Qualified Sewer Construction

- _____ Perform manhole inspections once every five years, make repairs as necessary
- _____ Perform sewer inspection once every five years, make repairs as necessary
- _____ Perform regular sewer cleaning so that every sewer segment is cleaned once every five years
- _____ Remove any construction places in maintenance easements that may impede maintenance equipment access.