



## DIRECTOR OF ENGINEERING REPORT

## **ON THE**

# PETITION FOR VARIANCE OF THE REQUIREMENTS OF THE WATERSHED MANAGEMENT ORDINANCE

# WMO-VP-21-01 HOTEL MANNHEIM GROUP, ROSEMONT

ENGINEERING DEPARTMENT INFRASTRUCTURE MANAGEMENT DIVISION LOCAL SEWER SYSTEMS SECTION

#### PREFACE

Article 11 of the Watershed Management Ordinance (WMO) allows an applicant to file a Petition for Variance with the Clerk of the Metropolitan Water Reclamation District of Greater Chicago (District) requesting relief from the requirements of the WMO. This Report is prepared by the Director of Engineering and includes a recommendation that the petition be granted, granted with conditions, or denied. This Report is submitted to be considered as part of a Variance Hearing.

#### **TABLE OF CONTENTS**

#### **Director of Engineering Report**

Introduction	1
WMO Permit Application 20-172 Project Summary	1
WMO Stormwater Requirements	1
Petition for Variance Submittal Timeline	1
Petition for Variance Request	2
Public Comment Period	4
Director of Engineering Recommendation	5

#### **APPENDICES**

Appendix A:	Petition for Variance, Received January 21, 2021
Appendix B:	Notice of Procedural Deficiency, Served March 15, 2021
Appendix C:	Petition for Variance Resubmittal, Received March 29, 2021
Appendix D:	Village of Rosemont Engineer Email Dated January 20, 2021
Appendix E:	Petition for Variance Fee Payment
Appendix F:	No Public Comments Received Email Dated May 5, 2021
Appendix G:	WMO Permit Application 20-172
Appendix H:	WMO Permit Application 20-172 Plan Set

Appendix I: WMO Permit Application 20-172 Stormwater Report

## Introduction

The Director of Engineering reviewed the Petition for Variance, WMO-VP-21-01, in accordance with Article 11 of the Watershed Management Ordinance (WMO) and the Procedural Rules Applicable to Administrative Proceedings under the WMO. The petition for variance is related to a proposed hotel redevelopment project under WMO Permit Application 20-172. The petitioner, Hotel Mannheim Group, is requesting a variance from the WMO stormwater management requirements that apply to the project. As required §1105.4 of the WMO, the Director of Engineer's report with recommendation is outlined below.

## WMO Permit Application 20-172 Project Summary

The subject project is located within the Village of Rosemont. It includes the demolition of two (2) existing buildings, pool and patio area; reconfiguration of the parking lot with associated storm sewer improvements; and two (2) new porte-cochere entryways for the hotel. The project area is approximately 2 acres and includes 1.81 acres of impervious area of which 0.32 acres is new additional impervious area. The property holdings is approximately 8.38 acres. The project is not located within a floodplain, wetland, or riparian environment. The permit application, plan set, and stormwater report are included in Appendix G, H, and I.

### WMO Stormwater Requirements

The project is required to comply with the stormwater management requirements of Article 5 of the WMO, including runoff, volume control, and detention. The runoff and volume control requirements apply because this is a non-residential project occurring on property holdings larger than 0.5 acres. The detention requirements apply because this project's development area is greater than 0.5 acres and is occurring on property holdings larger than 3 acres. These stormwater management requirements are in place and apply to qualifying projects within Cook County for the following purposes:

- Protecting the public health, safety and welfare, and reducing the potential loss of property due to flood damage;
- Managing and mitigating the effects of urbanization on stormwater drainage;
- Protecting existing and new development by minimizing the increase of stormwater runoff;
- Reducing or mitigating the environmentally detrimental effects of existing and future runoff in order to improve and maintain water quality;
- Requiring appropriate and adequate provisions for site runoff control;
- Encouraging control of stormwater quantity and quality at the most site-specific or local level;
- Establishing uniform and minimum stormwater management regulations while recognizing and coordinating with stormwater programs effectively operating within Cook County;

## Petition for Variance Submittal Timeline

The petition for variance was originally received by the Clerk of the District on January 21, 2021, and is included in Appendix A. After review by staff, the Law Department served a Notice of Procedural Deficiency, included in Appendix B, to the petitioner on March 15, 2021, detailing the deficiencies of the petition submittal requirements detailed in §1101 of the WMO. The petitioner resubmitted the petition for variance addressing the deficiencies which was received by the Clerk of the District on March 29, 2021, and is included in Appendix C.

## Petition for Variance Request

The petition is requesting a variance from the "0.50-acre trigger of drainage because the disruption in this case is a reduction in use and thus not necessary for applied purposes of requiring such additional drainage." Although the petition does not indicate which specific provision(s) of the WMO from which a variance is being sought, it appears that the specific provisions include §502.1.C (runoff), §503.1.C (volume control), and §504.1.C (detention), since the permit application submittal does not propose any stormwater management facilities to comply with the aforementioned provisions. The "reduction of use" claim in the petition is not a criterion under the WMO to determine the applicability of the stormwater management requirements. This project is increasing the impervious area on the site by 0.32 acres. The WMO stormwater management requirements do not apply to solely demolition projects; however, they do apply to redevelopment undertaken in conjunction with demolition, which is proposed under this project.

The petition includes two (2) letters. The first letter, dated February 14, 2020, is on Village letterhead and is signed by the Mayor. This signed letter complies with \$1101.3.B of the WMO requiring the Village to certify that the project complies with the local National Flood Insurance Program (NFIP) ordinance and that they do not object to the variance request. However, it should be noted that the Village conditions its support of the variance if the District "deems it appropriate to grant a variance with respect to the drainage requirements of the WMO." The second letter is purportedly from the Village and is undated, unsigned, and not on Village letterhead. This letter indicates that the Village has no objection to the proposed variance because it meets the requirements of \$501.1A-C. A January 20, 2021 email, included in Appendix D, from the Village's engineer, Daniel Lynch, P.E., Christopher B. Burke Engineering, Ltd., indicates that the letter "which is not on Village letterhead nor signed by the Village, was not prepared by the Village." Since this letter was not prepared nor endorsed by the Village, this report does not give it credence toward making a recommendation. However, if it were considered the same recommendation would be reached.

Article 11 of the WMO includes standards that must be considered for the recommendation of the Director of Engineering to (1) grant, (2) grant with conditions, or (3) deny the variance. Specifically, the petition must demonstrate all of the conditions indicated in §1103.1, and the District shall not grant a variance as indicated in §1103.2 and §1103.3. These provisions are reproduced below in *italics* with responses on whether the petition demonstrated compliance with the specific provision.

*§1103.1:* The District may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the project meets the requirements as specified in *§501.1.A-C* of this Ordinance and the petition demonstrates all of the following conditions:

The petition includes the exact statement as this provision. The petition failed to demonstrate, through calculations, reasoning, and/or documentation, that the project complies with §501.1.A-C.

*§1103.1.A:* Granting the variance neither alters the essential character of the area involved nor alters existing stream uses;

The petition includes the exact statement as this provision. The petition failed to demonstrate how granting the variance will not alter the essential character of the area involved nor alter existing stream uses.

*§1103.1.B:* Failure to grant the variance would create an unreasonable hardship on the applicant; economic hardship alone shall not constitute unreasonable hardship;

One part of the petition includes the exact statement as this provision. Another part of the petition indicates that the characteristics of the development that prevent it from complying with the WMO is "interior renovation of the hotel with limited budget." The petition failed to demonstrate how an unreasonable hardship would be created if the variance were not granted and appears to only consider an economic hardship.

*§1103.1.C:* The variance to be granted is the minimum necessary and there are no other means by which the alleged hardship can be avoided or remedied to a degree sufficient to permit the reasonable continuation of the project;

One part of the petition includes the exact statement as this provision. Another part of the petition appears to indicate that the minimum area threshold for stormwater management compliance be raised from 0.50 acres to 2 acres. The petition failed to offer any other design alternatives to comply with the stormwater management requirements and appears to simply request the area threshold be raised such that the project does not need to comply with the stormwater management requirements.

*§1103.1.D:* The applicant's circumstances are unique, not self-imposed, and do not represent a general condition or problem;

The petition includes the exact statement as this provision. The petition failed to demonstrate that the circumstances are unique, not self-imposed, and do not represent a general condition or problem.

*§1103.1.E:* The project is unique when compared to other projects that have met the provisions of this Ordinance;

The petition includes the exact statement as this provision. The petition failed to demonstrate the uniqueness of the project.

*§1103.1.F:* A development proposed within a flood protection area is unable to be constructed outside the flood protection area; and

The petition includes the exact statement as this provision. The petition failed to demonstrate this provision. However, it should be noted that this provision is not applicable since the project is not located within a flood protection area.

- *§1103.1.G: Granting the variance shall not result in any of the following:* 
  - (1) Increase in the regulatory floodplain elevation, unless a CLOMR is issued by FEMA;
  - (2) Additional threats to public safety;
  - (3) Extraordinary public expense;
  - (4) Nuisances, fraud, or victimization of the public; or
  - (5) Conflict with existing laws or ordinances.

The petition included the exact statement as the provision above. The petition failed to demonstrate how granting the variance will not result in Items 1 through 5 listed above.

§1103.2: The District shall not grant variances for any project that is within a regulatory floodway, Corps Jurisdictional Wetland, or Jurisdictional Waters of the U.S. unless such variance meets or exceeds federal and/or state required minimum standards for development in such areas. The applicant shall be responsible for obtaining all applicable federal and/or state permits before any such variance is granted.

The project is not located within a regulatory floodway, Corps Jurisdictional Wetland, or Jurisdictional Waters of the U.S.

*§1103.3:* The District shall not grant variances that would violate the minimum standards for floodplain management established by the OWR and the requirements of FEMA for participation in the NFIP.

The project is not located within a floodplain.

#### **Public Comment Period**

Consistent with \$1102.7 of the WMO, the District posted the original petition for variance on its website on January 25, 2021. The Notice of Procedural Deficiency was posted on March 15, 2021. The petition for variance resubmittal was posted on the website on April 1, 2021. The public comment period for the petition started on March 23, 2021, the date the petition was posted in the Chicago Sun Times, and lasted through April 16, 2021. The Clerk of the District did not receive any public comments.

## **Director of Engineering Recommendation**

The petition failed to demonstrate any of the conditions listed in §1103.1 of the WMO as detailed above. The three major provisions that weighed heavily in the recommendation include the following:

- §1103.1.B: The petition failed to demonstrate how an unreasonable hardship would be created if the variance were not granted and appears to only consider economic hardship. This provision specifically states that "economic hardship alone shall not constitute unreasonable hardship."
- §1103.1.C: The petition failed to offer any other design alternatives to comply with the stormwater management requirements or offer an opinion as to whether providing it is impractical. It appears that the petition simply requests that the area threshold be raised such that the project does not need to comply with the stormwater management requirements. The request to change the threshold of development area for which stormwater management requirements apply from 0.50 acres to 2 acres would be a major departure from current WMO standards that when applied throughout Cook County would result in fewer projects managing stormwater runoff and incorporating measures to mitigate the risk of flooding.
- §1103.1.E: The petition failed to demonstrate the uniqueness of the project. Of the 2,154 permits that have been issued by the District under the WMO since its effective date of May 1, 2014, all have been subject to the applicable stormwater management requirements in the WMO with respect to runoff, volume control, and detention.

The Director of Engineering recommends that the petition for variance be denied.

The WMO intentionally and purposefully establishes stormwater management requirements for redevelopment projects given the highly urbanized nature of Cook County. Even in cases where redevelopment does not increase imperviousness, or reduces imperviousness, runoff from redeveloped sites may exacerbate existing flooding conditions located downstream. The WMO requires local stormwater management facilities for redevelopment projects to protect downstream properties from potential flooding and to alleviate existing flooding conditions. If this petition were to include documentation to support all standards established in §1103.1 of the WMO, the recommendation to deny this petition for variance would not change.

# **APPENDIX A**

Petition for Variance, Received January 21, 2021

HOTEL MANNHEIM GROUP 6810 MANNHEIM ROAD ROSEMONT, IL

#### PETITION OF VARIANCE

Per the MWRD Watershed Management Ordinance Article 11 Section 1101.3

November 11, 2020

Clerk of the District

JAN 21 2021

Metropolitan Water Reclamation District of Greater Chicago

"Every Variance petition shall contain the following information, including, but not limited to:"

A. The co-permittee's notarized signature on the petition

Co-Permittee: Hotel Mannheim Group 6810 Mannheim Road Rosemont, IL 60018 Carmen Rossi—Attorney/ Representative

I hereby consent to the filing of this petition for variance from the provisions of the Metropolitan Water Reclamation District of Greater Chicago, Watershed Management Ordinance as indicated below.

Dated this 12 day of NULEMBER 2020

Carmen Rossi Attorney/Representative Expansion Project

November Subscribed and sworn to me this 12th day of 2020 mmmm OFFICIAL SEAL JOSEPH A ZAGORSKI IOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES: 02/13/22

B. A letter of no objection to the variance request from the Permittee

See attached

C. The names and addresses of all professional consultants advising the Co-Permittee regarding the petition:

Brett Duffy-SPACECO, Inc. John Li, Eric Chang—Hotel Mannheim Group Daniel Lunch, Mark Wrzeszcz—CBBEL Matt Murphy, Joe Lewis—SPACECO, Inc. HOTEL MANNHEIM GROUP 6810 MANNHEIM ROAD ROSEMONT, IL

November 11, 2020

D. The address(es), plat of survey and legal description of the Site.

Addresses: 6810 Mannheim Road Rosemont, IL 60018

E. Nuisances, fraud or victimization of the public, or;

No Nuisances, fraud or victimization of the public will result from approval of this Variance.

#### Attachments:

- 1. Letter of No Objection (Village of Rosemont-Permittee)
- 2. Plat of Survey
- 3. List of Properties Within 250' of the Site
- 4. Notice of Petition (copy) to be mailed by Co-Permittee to property owners
- 5. Notice of Petition to be placed (by Co-Permittee) in a Cook Country newspaper with a general circulation in the vicinity of the Site.

#1: The names and address(es) of all Owner of Record within two hundred and fifty feet (250 ft.) of this site.

Please see attached

#2: The specific feature(s) of the proposed Development that requires Variance.

This letter is to serve its purpose of recognition regarding the variance being sought with the Metropolitan Water Reclamation District of Greater Chicago. The owner of record for this site is Chicago Mannheim Chicago, LLC. The contractor of record is Aberdeen Construction Co.Inc. For the variance sought at 6810 Mannheim Road, the scope of work surrounding the overall project seeks relief from the .5-acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two (2) new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. The pool will be removed entirely and replaced into a flat surface area.

The village of Rosemont does not have any objections to this variance.

#3: The specific provision(s) of this Ordinance from which a Variance is being requested and the precise variation being sought.

The total contiguous ownership is 8.39 acres, and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

#### \*\*\* CONTINUED ON PAGE TWO PAGE \*\*\*

#4: A detailed statement of the characteristics of the Development that prevent it from complying with this ordinance.

Interior renovation of the hotel with limited budget.

#5: A detailed statement of the minimum variance of the provisions of this Ordinance that would be necessary to permit the proposed construction or development.

The minimum would be 2.0 acres disturbed versus .05 that is already allowed.

#6: A detailed statement describing how the requested Variance satisfies each of the criterion provided in Section 1103.1 of this Ordinance.

Granting the variance shall not alter the essential character of the area involved, including existing stream uses.

Failure to grant the variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship.

The relief requested is the minimum necessary and there are no means other that the requested variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development.

#### Section 1301.1

A: The district may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the development meets the requirements as specified on 8501.1 of this ordinance and all of the following conditions:

A: Granting the Variance shall not alter the essential character of the area involved, including existing stream uses.

B: Failure to grant Variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship.

C: The relief requested is the minimum necessary and there are no means other than the requested Variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development

D: The Co-Permittees circumstances are unique and do not represent a general condition or problem.

E: Granting Variance shall not result in any of the following:

- 1. Increase in the regulatory flood plain elevation, unless a CLOMR is issued by FEMA;
- 2. Additional threats to public safety.
- 3. Extraordinary public expense.
- 4. Nuisances, fraud, victimization of the public or.
- 5. Conflict with existing laws.
- 6. Nuisances, fraud, or victimization of the public, or.

Respectfully Submitted,

Carmen Rossi

Chicago Lake Law



VILLAGE OF ROSEMONT

February 14, 2020

To Whom It May Concern

Subject: Development at 6810 N. Mannheim Road, Rosemont, IL 60018

The Village of Rosemont has reviewed the attached Disturbed Area exhibit. The proposed area of development is not located within a Special Flood Hazard Area (SFHA) per Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel Number 17031C0219J. Since the project is not located within a SFHA, there are no compliance issues with the local National Flood Insurance Program (NFIP). If the Metropolitan Water Reclamation of Greater Chicago (MWRDGC) deems it appropriate to grant a variance with respect to the drainage requirements of the Watershed Management Ordinance of Cook County for the proposed development, the Village of Rosemont does not object.

If you have any questions, please feel free to contact me.

Sincerely

Bradley A. Stephens

Mayor

cc: Dan Lynch - CBBEL

9501 West Devon Ave. Rosemont, IL 60018

Phone 847-825-4404 Fax 847-696-2717

N:\ROSEMONT\14010\Admin\L1 021420 Docx

The Village of Rosemont offer an opinion of No Objection to the proposed Variance to remove the drainage requirement at the development site at 6810 Manheim Road. The Village understands the purpose of the Watershed Management Ordinance is to provide guidelines and structure for the betterment of the community and environment. It is our understanding that this proposed Variance will not alter the character of the area involved, nor alter the existing stream uses.

The Village recognizes the necessary Runoff Requirement steps a developer must go through when their Open Space development is greater or equal to 0.5 acre. Although this development does exceed that threshold, we believe the circumstance makes this case unique.

Article 501 (A-C) off the WMO, states that, "A Development shall not:

- A. Increase flood elevations or decrease flood conveyance capacity upstream or downstream of the property holding.
- B. Pose any increase in flood velocity or impairment of the hydrologic and hydraulic functions of streams and floodplains unless water resource benefit is realized;
- C. Unreasonably or unnecessarily degrade surface or ground-water quality. "

We took these three requirements into consideration when coming to our decision. This development does meet these requirements and the Village will work hand in hand with MWRD to make sure the Developer holds firm to these requirements. For the Variance sought at 6810 Mannheim, the scope of work surrounding the overall project seeks relief from the .5 acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. This pool will be removed entirely and replaced into a flat surface area.

The Village is committed to providing the best opportunities for our residents, visitors, and business'. We firmly believe that this development scheme is positive for our community and support the Developer Chicago Mannheim Chicago, LLC in their efforts to renovate a hotel development. After weighing all the alternative options and circumstances of the project we offer an opinion of No Objection to the proposed Variance.

Sincerely,

The Village of Rosemont



APPENDIX A: PETITION FOR VARIANCE, RECEIVED JANUARY 21, 2021 PAGE A-7

#### **ATTACHMENT 3**

List of Property Owners Within 250' of the Site 09-32-203-005-0000 HOTEL MANNHEIM CHGO LL 6810 MANNHEIM RD ROSEMONT, IL 60018

09-32-206-012-0000 EXEMPT

09-32-206-016-0000 EXEMPT

09-32-207-025-0000 EXEMPT

09-32-207-028-0000 PEACOCK OIL CO 115 GAYLORD ST ELK GROVE VL, IL 60007

09-32-207-040-0000 EXEMPT

09-32-211-006-0000 EXEMPT

09-32-212-001-0000 EXEMPT

09-32-212-004-0000 EXEMPT

09-32-401-019-0000 ROSEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO, IL 60661 09-32-205-014-0000 EXEMPT

09-32-206-013-0000 EXEMPT

09-32-206-017-0000 TAXPAYER OF 6810 MANNHEIM RD ROSEMONT, IL 60018

09-32-207-026-0000 EXEMPT

09-32-207-038-0000 EXEMPT

09-32-211-004-0000 EXEMPT

09-32-211-007-0000 EXEMPT

09-32-212-002-0000 EXEMPT

09-32-212-015-0000 TAXPAYER OF 6810 MANNHEIM ROAD ROSEMONT, IL 60018

09-33-108-008-0000 JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES, IL 60018 09-32-206-007-0000 EXEMPT

09-32-206-014-0000 EXEMPT

09-32-207-005-0000 EXEMPT

09-32-207-027-0000 EXEMPT

09-32-207-039-0000 EXEMPT

09-32-211-005-0000 EXEMPT

09-32-211-009-0000 DEVELOPMENT RESOURCES 333 N DESPLAINES ST CHICAGO, IL 60661

09-32-212-003-0000 EXEMPT

09-32-401-018-0000 ROSEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO, IL 60661

09-33-108-009-0000 JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES, IL 60018 09-33-108-010-0000 JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES, IL 60018

09-33-108-013-0000 CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES, IL 60018

09-33-108-023-0000 CAFE LA CAVE RE JS GAR 2777 S MANNHEIM RD DES PLAINES, IL 60018

09-33-109-063-0000 ARUCH POONSAPAYA 1666 FARWELL AVE DES PLAINES, IL 60018

09-33-300-002-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-005-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-008-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-301-011-0000 EXEMPT

09-33-301-013-0000 EXEMPT

09-33-305-027-0000 EXEMPT 09-33-108-011-0000 JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES, IL 60018

09-33-108-014-0000 CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES, IL 60018

09-33-108-024-0000 2655 AC LLC 15941 S HARLEM AVE 108 TINLEY PARK, IL 60477

09-33-110-034-0000 CTLTC 8002381617 1665 FARWELL AVE DES PLAINES, IL 60018

09-33-300-003-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-006-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-009-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-301-012-0000 EXEMPT

09-33-305-024-0000 CITY OF DES PLAINES 1420 MINER ST DES PLAINES, IL 60016

09-32-211-001-0000 EXEMPT 09-33-108-012-0000 CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES, IL 60018

09-33-108-022-0000 CAFE LA CAVE RS JS GAR 2777 S MANNHEIM RD DES PLAINES, IL 60018

09-33-109-062-0000 RAY MARIA BAHAMON 2725 GRECO LANE DES PLAINES, IL 60018

09-33-300-001-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-004-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-007-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-301-008-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-301-014-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER ROAD #4 ROSEMONT, IL 60018

09-33-305-025-0000 CITY OF DES PLAINES 1420 MINER ST DES PLAINES, IL 60016

09-32-211-002-0000 EXEMPT 09-32-211-008-0000 EXEMPT 09-32-210-010-0000 EXEMPT OHARE FIELD 09-32-210-017-0000 EXEMPT OHARE FIELD



	RealInfo LLC Zoning Search 09-32-206-013-0000	Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, 0 N/A N/A Sale Date:
6)	RealInfo LLC Zoning Search 09-32-206-014-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, 0 N/A N/A Sale Date:
7)	RealInfo LLC Zoning Search 09-32-206-016-0000	Owner Name: Site Address; Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	GREATER CAPITAL CORP (UND 37.4% INT), 6810 N MANNHEIM RD ROSEMO IL, 0 N/A N/A Sale Date: 1/15/1986 86020594 - QUIT CLAIM DEED
8)	RealInfo LLC Zoning Search 09-32-206-017-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	HOTEL MANNHEIM CHICAGO LLC, 6810 N MANNHEIM RD ROSEMONT IL 60018, TAXPAYER OF 6810 MANNHEIM RD ROSEMONT IL 60018 N/A \$5,080,000 Sale Date: 9/12/2012 1225601094 - SPECIAL WARRANTY DEED
9)	RealInfo LLC Zoning Search 09-32-207-005-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:
10)	RealInfo LLC Zoning Search 09-32-207-025-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:
11)	RealInfo LLC Zoning Search 09-32-207-026-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	THE VILLAGE OF ROSEMONT, IL, 0 N/A N/A Sale Date: 9/30/1974 22862221 - WARRANTY DEED
12)	RealInfo LLC Zoning Search 09-32-207-027-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, 0 N/A N/A Sale Date:
13)	Realinfo LLC Zoning Search 09-32-207-028-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount: Document #:	IL, PEACOCK OIL CO 115 GAYLORD ST ELK GROVE VL IL 60007 N/A N/A Sale Date:
14)	RealInfo LLC Zoning Search 09-32-207-038-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount:	IL , 0 N/A N/A Sale Date:

		Document #:	•
15)	RealInfo LLC Zoning Search 09-32-207-039-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, 0 N/A N/A Sale Date: -
16)	RealInfo LLC Zoning Search 09-32-207-040-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, 0 N/A N/A Sale Date: -
17)	RealInfo LLC Zoning Search 09-32-211-004-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:
18)	RealInfo LLC Zoning Search 09-32-211-005-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:
19)	RealInfo LLC Zoning Search 09-32-211-006-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	FIRST BK OF OAK PARK UTA DTD NOV/00/74, IL , N/A N/A Sale Date: 1/30/1975 22981232 - DEED IN TRUST
20)	RealInfo LLC Zoning Search 09-32-211-007-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, O N/A N/A Sale Date:
21)	RealInfo LLC Zoning Search 09-32-211-009-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	ROSEMONT O'HARE HOTEL PROPERTIES LLC, 6600 N MANNHEIM RD ROSEMONT IL 60018, DEVELOPMENT RESOURCES 333 N DESPLAINES ST CHICAGO IL 60661 N/A N/A Sale Date: 6/15/2005 516632036 - QUIT CLAIM DEED
22)	RealInfo LLC Zoning Search 09-32-212-001-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, 0 N/A N/A Sale Date:
23)	RealInfo LLC Zoning Search 09-32-212-002-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL, 0 N/A N/A Sale Date:
24)		Owner Name: Site Address:	Ι.,

	RealInfo LLC Zoning Search 09-32-212-003-0000	Tax Payer Address : Telephone #: Sale Amount: Document #:	0 N/A N/A Sale Date:	
25)	RealInfo LLC Zoning Search 09-32-212-004-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:	
26)	RealInfo LLC Zoning Search 09-32-212-015-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	SHERATON BLACKSTONE CORP, SHERATON BLACKSTON CORP 6810 N MANNHEIM RD ROSEMONT IL 60018, TAXPAYER OF 6810 MANNHEIM ROAD ROSEMONT IL 60018 N/A \$2,575,000 Sale Date: 2/11/1982 26142384 - DEED OF SALE	
27)	RealInfo LLC Zoning Search 09-32-401-018-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	ROSEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO IL 60661 N/A Sale Date:	
28)	RealInfo LLC Zoning Search 09-32-401-019-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	ROSEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO IL 60661 N/A Sale Date:	
29)	RealInfo LLC Zoning Search 09-33-108-008-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES CAR WASH MANAGEMENT LLC, 2711 S MANNHEIM RD DES PLAINES IL 60018, JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED	
30)	RealInfo LLC Zoning Search 09-33-108-009-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES CAR WASH MANAGEMENT LLC, 2711 S MANNHEIM RD DES PLAINES IL 60018, JOHN IMREIBE : 2711 MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED	
31)	RealInfo LLC Zoning Search 09-33-108-010-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES CAR WASH MANAGEMENT LLC, 2711 S MANNHEIM RD DES PLAINES IL 60018, JOHN IMREIBE : 2711 MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED	
32)	RealInfo LLC Zoning Search 09-33-108-011-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES CAR WASH MANAGEMENT LLC, 2711 S MANNHEIM RD DES PLAINES IL 60018, JOHN IMREIBE : 2711 MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED	
33)	Realinfo LLC Zoning Search	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2733 N MANNHEIM RD DES PLAINES IL, CAFE LA CAVE : 2777 S MANHEIM RD DES PLAINES IL 60018 N/A	

	09-33-108-012-0000	Sale Amount: Document #:	N/A Sale Date: 1/8/1997 97016606 - DEED OF SALE	
34)	RealInfo LLC Zoning Search 09-33-108-013-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2733 N MANNHEIM RD DES PLAINES IL, CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/8/1997 97016606 - DEED OF SALE	
5)	RealInfo LLC Zoning Search 09-33-108-014-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2733 N MANNHEIM RD DES PLAINES IL, CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/8/1997 97016606 - DEED OF SALE	
6)	RealInfo LLC Zoning Search 09-33-108-022-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2777 N MANNHEIM RD DES PLAINES IL 60018, CAFE LA CAVE RS JS GAR 2777 S MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/8/1997 97016607 - DEED IN TRUST	
7)	RealInfo LLC Zoning Search 09-33-108-023-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2777 N MANNHEIM RD DES PLAINES IL 60018, CAFE LA CAVE RE JS GAR 2777 S MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/8/1997 97016607 - DEED IN TRUST	
8)	RealInfo LLC Zoning Search 09-33-108-024-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	2655 AC LLC, 2655-95 S MANNHEIM RD DES PLAINES IL 60018, 2655 AC LLC 15941 S HARLEM AVE 108 TINLEY PARK IL 60477 N/A \$4,058,500 Sale Date: 5/1/2017 1712139154 - SPECIAL WARRANTY DEED	
9)	RealInfo LLC Zoning Search 09-33-109-062-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BAHAMON MARIA G,BAHAMON RAY 2725 GRECO LN DES PLAINES IL 60018, RAY MARIA BAHAMON 2725 GRECO LANE DES PLAINES IL 60018 N/A N/A Sale Date: 9/20/1989 89443511 - WARRANTY DEED	
0)	RealInfo LLC Zoning Search 09-33-109-063-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount: Document #:	POONSAPAYA ARUCH, 1666 FARWELL AV DES PLAINES IL 60018, ARUCH POONSAPAYA 1666 FARWELL AVE DES PLAINES IL 60018 N/A \$210,000 Sale Date: 4/8/2011 1109849015 - WARRANTY DEED	
1)	RealInfo LLC Zoning Search 09-33-110-034-0000	Owner Name: C Site Address: 1 Tax Payer Name: C Tax Payer Address 1 : Telephone #: N Sale Amount: N Document #: 1	HICAGO TITLE LAND TRUST COMPANY,TRUST NUMBER 8002381617 665 FARWELL AV DES PLAINES IL 60018, TLTC 8002381617 665 FARWELL AVE DES PLAINES IL 60018 //A //A Sale Date: 8/29/2019 924106028 - DEED IN TRUST	
2)	RealInfo LLC Zoning Search 09-33-300-001-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	LA QUINTA PROPERTIES INC, 2811 N MANNHEIM RD DES PLAINES IL 60018, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$434,500 Sale Date: 1/2/2003 30004840 - DEED OF SALE	
		Owner Name:		

APPENDIX A: PETITION FOR VARIANCE, RECEIVED JANUARY 21, 2021 PAGE A-16

43)	RealInfo LLC Zoning Search 09-33-300-002-0000	Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	2811 W MANNHEIM DR DES PLAIENS IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A N/A Sale Date:
44)	RealInfo LLC Zoning Search 09-33-300-003-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	4721 W LAKE ST MELROSE PARK IL , NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A N/A Sale Date:
45)	RealInfo LLC Zoning Search 09-33-300-004-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IMAGE DES PLAINES LLC, 2811 N MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$500,000 Sale Date: 1/8/2019 1900822021 - SPECIAL WARRANTY DEED
46)	RealInfo LLC Zoning Search 09-33-300-005-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IMAGE DES PLAINES LLC, 2811 MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$500,000 Sale Date: 1/8/2019 1900822021 - SPECIAL WARRANTY DEED
47)	RealInfo LLC Zoning Search 09-33-300-006-0000	Owner Name: Site Address; Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount; Document #:	LA QUINTA PROPERTIES INC, 2811 N MANNHEIM RD DES PLAINES IL 60018, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$434,500 Sale Date: 1/2/2003 30004840 - DEED OF SALE
48)	RealInfo LLC Zoning Search 09-33-300-007-0000	Owner Name: Site Address; Tax Payer Name: Tax Payer Address; Telephone #: Sale Amount; Document #:	4721 W LAKE ST MELROSE PARK IL , NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A N/A Sale Date:
49)	RealInfo LLC Zoning Search 09-33-300-008-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	PROMINENCE DES PLAINES LLC, 2811 MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$2,050,000 Sale Date: 1/3/2019 1900313033 - SPECIAL WARRANTY DEED
50)	RealInfo LLC Zoning Search 09-33-300-009-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	PROMINENCE DES PLAINES LLC, 2811 MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$2,050,000 Sale Date: 1/3/2019 1900313033 - SPECIAL WARRANTY DEED
51)	RealInfo LLC Zoning Search 09-33-301-008-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	PROMINENCE DES PLAINES LLC, 2811 MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$2,050,000 Saie Date: 1/3/2019 1900313033 - SPECIAL WARRANTY DEED
52)	RealInfo LLC Zoning Search 09-33-301-011-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount:	2845 MANNHEIM RD DES PLAINES IL , 0 N/A N/A Sale Date:

		Document #:	
53)	RealInfo LLC Zoning Search 09-33-301-012-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL , N/A N/A Sale Date:
54)	RealInfo LLC Zoning Search 09-33-301-014-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	LA QUINTA PROPERTIES INC, S/SE CRNR PRATT AV & ORCHARD PL DES PLAINES IL 60018, NCB DEVELOPMENT XXVIII 6111 N RIVER ROAD #4 ROSEMONT IL 60018 N/A \$681,500 Sale Date: 1/2/2003 30004842 - DEED OF SALE
55)	RealInfo LLC Zoning Search 09-33-305-024-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL, CITY OF DES PLAINES 1420 MINER ST DES PLAINES IL 60016  N/A Sale Date:
56)	Realinfo LLC Zoning Search 09-33-305-025-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL, CITY OF DES PLAINES 1420 MINER ST DES PLAINES IL 60016 ///A Sale Date:

### NOTICE OF PETITION

**Dear Property Owner** 

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The Variance is being requested so that the existing, vacant hotel on location can be remodeled into a new La Quinta Hotel and seeking Variance to use existing drainage on site. There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

Copies of the full Petition of Variance may be obtained by contacting Hotel Mannheim Group representative, Aberdeen Construction via phone at 773-930-4150.

Upon request, any and all documents concerning this Petition for Variance will be made available for inspection at the Development location noted above.

Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago Clerk of the District 100 East Erie Street Chicago, IL 606011

Hotel Mannheim Group

#### NOTICE OF PETITION

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance for relief from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago Clerk of the District 100 East Erie Street Chicago, IL 606011

Hotel Mannheim Group,





APPENDIX A: PETITION FOR VARIANCE, RECEIVED JANUARY 21, 2021 PAGE A-22



APPENDIX A: PETITION FOR VARIANCE, RECEIVED JANUARY 21, 2021 PAGE A-23







APPENDIX A: PETITION FOR VARIANCE, RECEIVED JANUARY 21, 2021 PAGE A-26



8/11/2020

Brett Duffy, P.E. SPACECO, Inc. 9575 W. Higgins Road, Suite 700 Rosemont, Illinois 60018 Email: bduffy@spacecoinc.com

Dear Mr. Duffy:

Subject: WMO Permit Application No.: 20-172 Review Letter No.: 1 Name of Project: 6810 Mannheim Road Development Municipality: Rosemont

Review of the subject application, drawings, and supporting documentation has been completed. The items listed below must be addressed prior to issuance of a permit.

#### **General Comments:**

- 1. Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance.
- 2. This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.
- 3. Additional fees are required for detention review and the recordation deposit. Submit an updated fee payment voucher and check for the remaining fees.

#### **Permit Application:**

- 4. Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.
- 5. Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

#### **Plans:**

- 6. Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.
- 7. Sheet 2: Revise General Note 4 or mark the plans "For Construction".

1 of 2
- 8. Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.
- 9. Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.
- 10. Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.
- 11. Provide the MWRD General Notes as part of the plan set.
- 12. Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.
- 13. Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.

Please revise the permit application, plans, and supporting documentation accordingly, submit two (2) copies of the revised permit application pages, two (2) complete sets of revised plans, and a written response addressing each of the above items within 30 days. Permit applications will not be kept open indefinitely. The permit application may be canceled by the District if a resubmittal has not been received within 90 days, following the first review letter (WMO §1401.3.B). In addition, the permit application may be canceled by the District if meaningful compliance progress is not made within 180 days following the first review letter.

If there are any questions, please email me at cunicom@mwrd.org.

Respectfully, Michael Cunico

Michael Cunico, P.E. Associate Civil Engineer

2 of 2



9575 W. Higgins Road, Suite700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065

October 9, 2020

Michael Cunico, P.E. Metropolitan Water Reclamation District of Greater Chicago Local Sewer Systems Section 111 East Erie Street, Sixth Floor Chicago, IL 60611

RE: MWRD PERMIT NO.: 20-172 6810 MANNHEIM ROAD DEVELOPMENT VILLAGE OF ROSEMONT COOK COUNTY, ILLINOIS SPACECO PROJECT NO: 8055.04

Dear Mr. Cunico:

On behalf of our Client, we are submitting the revised documents for the MWRDGC Sewerage System Permit for the proposed site improvement plans for the proposed 6810 Mannheim Road development located in the Village of Rosemont, Illinois. Enclosed for your review and comment are:

Enclosed for your review and comment are:

- 1. Two (2) copies of the revised MWRD Permit Application Sheets including Schedule P
- Two (2) sets of the Site Improvement Plans for 6810 Mannheim Road Development signed and sealed dated June 8, 2020, last revised October 9, 2020
- 3. Two (2) copies of the revised Stormwater Management Report dated October 2020

Attached are our responses to your review comments dated August 11, 2020.

Sincerely,

SPACECO, Inc.

Brett Duffy, P.E. Principal

cc: John Li, Eric Chang – Hotel Mannheim Chicago, LLC Daniel Lynch, Mark Wrzeszcz - CBBEL Matt Murphy, Joe Lewis – SPACECO, Inc. N:\Projects\8055\8055\4055.04\PERMITS\MWRD\8055.04-LTR-MWRDGC-CR-2020-1009.doc

## **GENERAL COMMENTS:**

- **COMMENT 1:** Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance.
- RESPONSE 1: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.
- **COMMENT 2:** This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.
- RESPONSE 2: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.
- **COMMENT 3:** Additional fees are required for detention review and the recordation deposit. Submit an updated fee payment voucher and check for the remaining fees.
- RESPONSE 3: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

## PERMIT APPLICATION:

- **COMMENT 4:** Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.
- RESPONSE 4: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. The box has been unchecked for Schedule K on the permit application's cover sheet.
- **COMMENT 5:** Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

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RESPONSE 5: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. Schedule P, Items 1.C and 1.D have been left unchecked and NA per the variance request above. Schedule P, Item 2.A, Entrance/Exit Control, has been checked and the stabilized entrance is shown at the south entrance of the site with the applicable Notes. A concrete washout is located at the south side of the site near the parking lot improvements with the applicable notes.

#### PLANS:

- **COMMENT 6:** Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.
- RESPONSE 6: A Drainage Certificate has been included on Sheet C1 (Cover Sheet)
- **COMMENT 7:** Sheet 2: Revise General Note 4 or mark the plans "For Construction".
- RESPONSE 7: Sheet 2, General Note 4 has been revised to exclude the statement, "NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION"."
- **COMMENT 8:** Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.
- RESPONSE 8: All storm sewer proposed to be 10-inch pipe has been revised to 10-inch DIP. The minimum cover over the 10-inch DIP pipe is 0.8725-feet (10.5-inches) which is sufficient cover over DIP. Catch basins that have less than 2-feet of cover over the pipe have been revised from a Type A catch basin to a Type C catch basin allowing for a frame on structure. The structures revised include CB-204 and CB-208.
- **COMMENT 9:** Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.
- RESPONSE 9: The upstream invert of the existing sanitary sewer is inconclusive currently and the proposed crossing location and elevation is approximate. The contractor will need to expose the existing sanitary sewer and confirm location and elevation. After verification the siphon will remain or be revised as necessary. Increasing slope will create cover

issues upstream and reducing the slope will not provide the necessary clearance for the crossing. A siphon detail has been added to Sheet UT1

- **COMMENT 10:** Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.
- RESPONSE 10: The IP identifier has been added to the Symbol Legend on Sheet SE3 and delineates a catch-all/inlet protection. The construction entrance/exit control will be up to the means and methods of the contractor. The contractor shall utilize the existing accesses as necessary and agreed to with the existing users. Notes were added to Sheet SE3 and include the note "...Contractor shall clean parking lot and existing roadway as necessary throughout construction."

**COMMENT 11:** Provide the MWRD General Notes as part of the plan set.

- RESPONSE 11: The MWRD General Notes have been included in the plan set as Sheet SP2.
- **COMMENT 12:** Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.
- RESPONSE 12: The Location Map included on the Cover Sheet has been revised to include the storm sewer routing from the proposed site to the existing waterway. There is a 48-inch and 72-inch existing storm sewer running south on Mannheim Road and discharges to the Willow-Higgins Creek.
- **COMMENT 13:** Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.
- RESPONSE 13: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

# **APPENDIX B**

Notice of Procedural Deficiency, Served March 15, 2021

#### BEFORE THE BOARD OF COMMISSIONERS OF THE METROPOLITAN WATER RECLAMATION Clerk of the District DISTRICT OF GREATER CHICAGO

MAR 1 5 2021

IN RE: PETITION FOR VARIANCE OF HOTEL MANNHEIM GROUP,

Petitioner.

Case No. WMO-VP-21-01 District of Greater Chicago

Property Address:

6810 Mannheim Road Rosemont, IL 60018

#### **NOTICE OF PROCEDURAL DEFICIENCY**

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Pursuant to Section 5(H) of the Metropolitan Water Reclamation District of Greater Chicago's ("District") Procedural Rules Applicable to Administrative Proceedings under the Watershed Management Ordinance ("WMO")("Procedural Rules"), the District, by and through its General Counsel Susan T. Morakalis, provides Petitioner Hotel Mannheim Group ("Petitioner") notice that the Petition for Variance filed with the Clerk of the District on January 21, 2021 ("Petition") has procedural deficiencies. Under Section 5.H.3 of the Procedural Rules, within fourteen days of this Notice, the Petitioner must either: (1) cure the deficiencies identified in this Notice; (2) provide evidence that the deficiency was corrected prior to this Notice; or (3) withdraw the petition. **IF THE PETITIONER FAILS TO TAKE ACTION WITHIN 14** 

DAYS, THE PETITION WILL BE DEEMED WITHDRAWN. In particular, the Petition is

deficient in the following ways:

- Petitioner failed to pay a variance filing fee as required by §1101.2 and Appendix F of the WMO;
- 2) The Petition failed to contain the following:
  - a. addresses of the project's consultants in violation of §1101.3.C;
  - b. a plat of survey or legal description of the project site in violation of §1101.3.D;
  - c. No detail of which specific provisions of the WMO from which a variance is being sought in violation of §1101.3.G;

- 3) Petitioner failed to file a certification of publication within 14 days of filing of the Petition as required by §1102.4; and
- 4) Petitioner failed to file a sworn affidavit that notices were sent to the addresses of nearby property owners as required by §1102.5.

In addition to being identified as a procedural deficiency above, Petitioner's failure to provide the notices and file proof of that notice as required in §1102 of the WMO allows the District to deny any petition for variance under §1102.7 of the WMO.

Further, the WMO explicitly requires the Petitioner to demonstrate that the Petition meets §1103.1 of the WMO. In the event the Petitioner seeks to cure the deficiencies identified above and file proof of notices required in §1102 of the WMO, the District encourages Petitioner to ensure that the Petition's "detailed statement" fully demonstrates how the Petition complies with the Standards set out in §1103.1 of the WMO.

Sman Marcha Susan T. Morakalis, General Counsel

Metropolitan Water Reclamation District of Greater Chicago Susan T. Morakalis (morakaliss@mwrd.org) Jorge T. Mihalopoulos (mihalopouloj@mwrd.org) Anastasios T. Foukas (foukasa@mwrd.org) 100 East Erie Street Chicago, Illinois 60611 (312) 751-5929

#### **CERTIFICATE OF SERVICE**

The undersigned, a non-attorney, certifies that s/he caused a true and correct copy of the Notice of Procedural Deficiency to be served upon:

Carmen Rossi Chicago Lake Law/City Lake Law 110 W Hubbard Street Suite 400 Chicago, IL 60654 Hotel Mannheim Group 6810 N. Mannheim Rd. Rosemont, IL 60018

by certified mail at the addresses identified above by placing the same with postage pre-paid in a United States Postal Service mailbox at 100 E. Erie St., Chicago, IL 60611, at or before 5:00 p.m. on the  $15^{\frac{10}{10}}$  of March, 2021.

	U.S. Postal Service <sup>™</sup> CERTIFIED MAIL <sup>®</sup> RECEIPT					
Ŧ	Domestic Mail Only					
2 5 L2	For delivery information, visit our website OFFICIAL Certified Mall Fee	at www.usps.com <sup>®</sup> . USE				
7 45 5000	Section 2	Postmark Here				
2970	Postage \$ Total Postage and Fees \$ Carmen Rossi					
7019	Sent To Chicago Lake La Street and Apt. No., or PO Provo W Hubbard S City, State, 2/P+4* Chicago LL 6005	Chicago Lake Law/City Lake Law 710 W Hubbard Street Suite 400 Chicago II 50554				
	PS Form 3800, April 2015 PSN 7530-02-000-9047	4 See Reverse for Instructions				

APPENDIX A: NOTICE OF PROCEDURAL DEFICIENCY, SERVED MARCH 15, 2021 PAGE B-4

#### U.S. Postal Service<sup>™</sup> CERTIFIED MAIL<sup>®</sup> RECEIPT

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13	Hotel Mannheim Group					
70	Street and Apt. No., of 8 10 N. Mannheim Rd.					
	<sup>City, State, 219+4®</sup> Rosemont, IL. 60018					
	PS Form 3800, April 2015 PSN 7530-02-000-9047	See Reverse for Instructions				

APPENDIX A: NOTICE OF PROCEDURAL DEFICIENCY, SERVED MARCH 15, 2021 PAGE B-5







Metropolitan Water Reclamation District of Greater Chicago 100 East Erie Street Chicago, Illinois 60611-3154 Law – A. Foukas

Carmen Rossi Chicago Lake Law/City Lake Law 110 W. Hubbard Street Suite 400 Chicago, IL. 60654



# **APPENDIX C**

Petition for Variance Resubmittal, Received March 29, 2021

## Table of Contents Re: Resolutions to Notice of Procedural Deficiency

- 1. Payment of variance filing fee as required by 1101.2 and Appendix F of WMO: included in packed
- A) Page 2 of Petition of Variance: Brett Duffy SPACECO, Inc.
   9575 W Higgins Road Suite 700 Rosemont, IL 60018

B) Attachment 2 included in Petition of Variance

C) Included on page 7 of the Petition of Variance. Article 501 (A-C) "A Development shall not"

- 3. Certification of publication included in submitted packed. Circulating in Chicago Sun Times on 3/26/21
- 4. Sworn affidavit included in submitted packet

Clerk of the District

MAR 29 2021

Metropolitan Water Reclamation District of Greater Chicago

## IN RE: PETITION FOR VARIANCE OF HOTEL MANNHEIM GROUP

Case No. WMO-VP-21-01 Property Address: 6810 Mannheim Road Rosemont, IL 60018

The proposed Variance located on 6810 Mannheim Road in Rosemont, IL aligns with the Illinois Watershed Ordinance section 103. The new additions improve the conditions surrounding the floodplain. The proposed renovation does not create any additional pressure on surrounding area.

The Variance will improve all storm water runoff that will be captured on-site allowing for safe and effective evaporation. The leveling and implementation of improved draining technology of the parking lot will help the drainage of ground water on site – in line with the safe watershed mitigation practices outlined in the Watershed Ordinance. The Variance improves upon current conditions leading to an overall safer and environmentally friendly floodplain.

Hotel Mannheim Group

## 6810 Mannheim Road Rosemont, Illinois

#### INTRODUCTION

The project site is located at 6810 Mannheim Road in the Village of Rosemont, Cook Count, Illinois. The total contiguous ownership is 8.38 acres and the proposed development will disturb approximately 2.0 acres. The storm water analysis was performed based on the land plan prepared by the project architect, the topographic survey prepared by SPACECO Inc., in accordance with the requirements of the Watershed Management Ordinance (Ordinance) as adopted by the Metropolitan Water Reclamation District of Greater Chicago on October 3, 2013, and as amended to, and including May 16, 2019.

The Village of Rosemont is in support of this project. The scope of work surrounding the overall project seeks relief from the .5 acre trigger of drainage because the disruption in this case is a **reduction of use and thus not necessary for applied purposes of requiring such additional drainage**. The work on the north side of the existing building will be just resurface in the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously and indoor poll. This pool will be removed entirely and replace into a flat surface area that is constructed of a material with drainage holes within it. There will be no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

Under the proposed renovation all of the storm water will be captured on-site and allowed toe evaporate, soak into the ground on-site, thus not triggering the need for additional drainage.

#### EXISTING CONDITIONS

Under existing conditions, the project site is a hotel facility with the associated roadways and utilities. The site is located directly north of Interstate 1-90, and on the west side of Mannheim Road. A 72" storm sewer traverses north to south on the east side of the site parallel to Mannheim Road.

There is no floodplain based on existing topography and a mapped floodway located on-site as delineated by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel number 0219], effective August 19, 2008. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek. The project is located in a separate sewer area. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek. The project is located in a separate sewer area. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

There are no existing wetlands/waters of the U.S. located on the site.

#### PROPOSED CONDITIONS

#### General Storm water Information

The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements, and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 Acres.

There is currently no storm water detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

#### Site Runoff Requirements

The project is located in a separate sewer area, and the site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

The following table is a breakdown of the existing and proposed on-site areas. This is a holistic view and does not distinguish between detained, unrestricted, and native plantings.

Site Condition	Areas			
	Pervious Ac.	Impervious Ac.	Total Ac.	% Impervious
Existing	0.49	1.51	2.0	76
Proposed	0.19	1.81	2.0	91

There is no upstream area tributary to the site. There is no depressional storage on site.

#### GRANTING OF A VARIANCE:

Development shall not:

A. Increase flood elevations or decrease flood conveyance capacity upstream or downstream of the property holding

B. Pose any increase in flood velocity or impairment of the hydrologic and hydraulic functions of streams and floodplains unless a water resource benefit is realized

C. Unreasonably or unnecessarily degrade surface or ground-water quality

The District may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the project meets the requirements in 501.1 A-C of this Ordinance and the petition demonstrates all of the following conditions:

- Granting the variance neither alters the essential character of the area involved, nor alters existing stream uses;
- Failure to grant the variance would create an unreasonable hardship on the applicant; ECONOMIC HARDSHIP ALONE SHALL NOT CONSTITUTE UNREASONABLE HARDSHIP.
- The variance to be granted is the minimum necessary and there are no other means by which the alleged hardship can be avoided or remedied to a degree sufficient to permit the reasonable continuation of the project;
- The applicant's circumstance are unique, not self-imposed, and do not represent a general condition or problem;
- The project is unique when compared to other projects that have met the provisions of this Ordinance;
- A development proposed within a flood protection area is unable to be constructed outside the floor protection area; and
- 7. Granting the variance shall not result in any of the following:
  - Increase in the regulatory floodplain elevation, unless a CLOMR is issued by FEMA;
  - 2. Additional threats to public safety
  - 3. extraordinary public expense
  - 4. nuisance, fraud, or victimization of the public; or
  - 5. conflict with existing laws or ordinances

Per Section 103 of the Illinois Watershed Ordinance, granting of this variance adheres to and improves upon the purposes of this ordinance:

- A. Protecting the public health, safety, and welfare, and reducing the potential for loss of property due to flood damage;
  - though correction of the pitch on existing parking lots, and the creation of a flat surface area constructed with of a material with drainage holes within it.
- B. Managing and mitigating the effects of urbanization on stormwater drainage throughout Cook County;
  - by safely dispersing stormwater runoff captured on-site allowing for the runoff to evaporate or soak into the ground on site thus not triggering the need for additional drainage
- C. Protecting existing and new development by minimizing the increase of stormwater runoff volume beyond that experienced under existing conditions and by reducing peak stormwater flows;
  - there will be no alterations to existing characteristics and essential characters within the watershed nor impeded on the existing MWRD ordinance
- Promoting responsible land use practices in Cook County, particularly within floodplains and floodways;
  - Failure to grant the variance necessitating a period for FEMA to approve said modifications is not responsible land use
    - FEMA has indicated granting licenses is secondary priority to disaster relief – could cause excessive delays to a construction site – per definition of FEMA page A-6
- E. Protecting existing water resources, including lakes, streams, floodplains, wetlands, and groundwater from detrimental and unnecessary modification in order to maintain their beneficial functions;
  - There is no floodplain based on existing topography and mapped floodway located on-site delineated by FEMA
- F. Reducing or mitigating the environmentally detrimental effects of existing and future runoff in order to improve and maintain water quality;
  - As no new additional plumbing capacities added to the site thus no disruption to the current drainage schematics
- G. Preserving and enhancing existing riparian environments;
  - The proposed variance will have no altering affect on existing riparian environments, if anything improve upon by implementing new drainage technology
- H. Controlling erosion and the discharge of sediment from all sources including, but not limited to, stormwater facilities, waterways, developments, and construction sites;
  - There is a temporary status on the site, while under construction failure will cause even greater erosion risk as temporary parameters are not as affective as permanent implementation of proposed offsetting draining infrastructure

- I. Requiring appropriate and adequate provisions for site runoff control;
  - All provisions adequately adept to provide proper site runoff control and mitigation of risk
- Requiring consistency in stormwater management activities within and among the units of government having stormwater management jurisdiction;
  - Failure to grant variance is inconsistent per current Illinois Watershed Ordinance

     current language necessitates the need for preservation of land and current status however, lengthy delays imposed by FEMA pose a greater risk than granting of the variance.
- K. Ensuring future development in the floodplain does not adversely affect floodplain environments or increase the potential for flood damage;
  - The redevelopment of the site will include reconfiguring of the parking lot with storm and sewer improvements
- L. Requiring regular, planned maintenance of stormwater management facilities;
  - All planned maintenance will adhere to current Illinois Watershed Ordinance Standards
- M. Encouraging control of stormwater quantity and quality at the most site-specific or local level;
  - Fixing the pitch will create an even surface evenly distributing the stormwater evenly mitigated risk of flooding or destruction of existing riparian environments.
- N. Meeting the floodway permitting requirements of the Illinois Department of Natural Resources, Office of Water Resources, delineated in the Rivers, Lakes, and Streams Act (615 ILCS 5/18g);
  - All requirements are met per Illinois Department of Natural Resources, Office of Waters Resources delineated in (615 ILCS 5/18g);

HOTEL MANNHEIM GROUP 6810 MANNHEIM ROAD ROSEMONT, IL

November 11, 2020

## PETITION OF VARIANCE

Per the MWRD Watershed Management Ordinance Article 11 Section 1101.3

"Every Variance petition shall contain the following information, including, but not limited to:"

A. The co-permittee's notarized signature on the petition

Co-Permittee: Hotel Mannheim Group 6810 Mannheim Road Rosemont, IL 60018 Carmen Rossi—Attorney/ Representative

I hereby consent to the filing of this petition for variance from the provisions of the Metropolitan Water Reclamation District of Greater Chicago, Watershed Management Ordinance as indicated below.

Dated this 12 day of NUVEMBER 2020

Carmen Rossi Attorney/Representative Expansion Project

Novemb Subscribed and sworn to me this 12th day of OFFICIAL SEAL JOSEPH A ZAGORSKI IOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES: 02/13/22

B. A letter of no objection to the variance request from the Permittee

See attached

C. The names and addresses of all professional consultants advising the Co-Permittee regarding the petition.

Brett Duffy-SPACECO, Inc. John Li, Eric Chang—Hotel Mannheim Group Daniel Lunch, Mark Wrzeszcz—CBBEL Matt Murphy, Joe Lewis—SPACECO, Inc.

## ADDRESSES OF PROFESSIONAL CONSULTANTS:

Brett Duffy Spaceco, Inc 9575 W Higgins Road Suite 700 Rosemont, IL 60018

John Li & Eric Chang Hotel Mannheim Group 6810 Mannheim Road Rosemont, IL 60018

Daniel Lunch & Mark Wrzeszcz CBBEL 9575 W Higgins Road Suite 600 Rosemont, IL 60018

Matt Murphy & Joe Lewis Spaceco 9575 W Higgins Road Suite 700 Rosemont, IL 60018 HOTEL MANNHEIM GROUP 6810 MANNHEIM ROAD ROSEMONT, IL

November 11, 2020

D. The address(es), plat of survey and legal description of the Site.

Addresses: 6810 Mannheim Road Rosemont, IL 60018

E. Nuisances, fraud or victimization of the public, or;

No Nuisances, fraud or victimization of the public will result from approval of this Variance.

Attachments:

- 1. Letter of No Objection (Village of Rosemont-Permittee)
- 2. Plat of Survey
- 3. List of Properties Within 250' of the Site
- 4. Notice of Petition (copy) to be mailed by Co-Permittee to property owners
- Notice of Petition to be placed (by Co-Permittee) in a Cook Country newspaper with a general circulation in the vicinity of the Site.

#1: The names and address(es) of all Owner of Record within two hundred and fifty feet (250 ft.) of this site.

#### Please see attached

#2: The specific feature(s) of the proposed Development that requires Variance.

This letter is to serve its purpose of recognition regarding the variance being sought with the Metropolitan Water Reclamation District of Greater Chicago. The owner of record for this site is Chicago Mannheim Chicago, LLC. The contractor of record is Aberdeen Construction Co.Inc. For the variance sought at 6810 Mannheim Road, the scope of work surrounding the overall project seeks relief from the .5-acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two (2) new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. The pool will be removed entirely and replaced into a flat surface area.

The village of Rosemont does not have any objections to this variance.

#3: The specific provision(s) of this Ordinance from which a Variance is being requested and the precise variation being sought.

The total contiguous ownership is 8.39 acres, and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

#### \*\*\* CONTINUED ON PAGE TWO PAGE \*\*\*

#4: A detailed statement of the characteristics of the Development that prevent it from complying with this ordinance.

Interior renovation of the hotel with limited budget.

#5: A detailed statement of the minimum variance of the provisions of this Ordinance that would be necessary to permit the proposed construction or development.

The minimum would be 2.0 acres disturbed versus .05 that is already allowed.

#6: A detailed statement describing how the requested Variance satisfies each of the criterion provided in Section 1103.1 of this Ordinance.

Granting the variance shall not alter the essential character of the area involved, including existing stream uses.

Failure to grant the variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship. The relief requested is the minimum necessary and there are no means other that the requested variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development.

Section 1301.1

A: The district may grant a variance when it is consistent with the general purpose and intent of this Ordinance and when the development meets the requirements as specified on 8501.1 of this ordinance and all of the following conditions:

A: Granting the Variance shall not alter the essential character of the area involved, including existing stream uses.

B: Failure to grant Variance would create an exceptional hardship on the Co-Permittee; economic hardship of the Co-Permittee alone shall not constitute exceptional hardship.

C: The relief requested is the minimum necessary and there are no means other than the requested Variance by which the alleged hardship can be avoided and remedied to a degree sufficient to permit the reasonable continuation of Development

D: The Co-Permittees circumstances are unique and do not represent a general condition or problem.

E: Granting Variance shall not result in any of the following:

- 1. Increase in the regulatory flood plain elevation, unless a CLOMR is issued by FEMA;
- 2. Additional threats to public safety.
- 3. Extraordinary public expense.
- 4. Nuisances, fraud, victimization of the public or.
- 5. Conflict with existing laws.
- 6. Nuisances, fraud, or victimization of the public, or.

Respectfully Submitted,

Carmen Rossi

Chicago Lake Law



VILLAGE OF

February 14, 2020

To Whom It May Concern

Subject: Development at 6810 N. Mannheim Road, Rosemont, IL 60018

The Village of Rosemont has reviewed the attached Disturbed Area exhibit. The proposed area of development is not located within a Special Flood Hazard Area (SFHA) per Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel Number 17031C0219J. Since the project is not located within a SFHA, there are no compliance issues with the local National Flood Insurance Program (NFIP). If the Metropolitan Water Reclamation of Greater Chicago (MWRDGC) deems it appropriate to grant a variance with respect to the drainage requirements of the Watershed Management Ordinance of Cook County for the proposed development, the Village of Rosemont does not object.

If you have any questions, please feel free to contact me.

Sincerely

Bradley A. Stephens

Mayor

cc: Dan Lynch – CBBEL

9501 West Devon Ave. Rosemont, IL 60018

Phone 847-825-4404 Fax 847-696-2717

NAROSEMONTA4010AdminUL1 021420 Docx

The Village of Rosemont offer an opinion of No Objection to the proposed Variance to remove the drainage requirement at the development site at 6810 Manheim Road. The Village understands the purpose of the Watershed Management Ordinance is to provide guidelines and structure for the betterment of the community and environment. It is our understanding that this proposed Variance will not alter the character of the area involved, nor alter the existing stream uses.

The Village recognizes the necessary Runoff Requirement steps a developer must go through when their Open Space development is greater or equal to 0.5 acre. Although this development does exceed that threshold, we believe the circumstance makes this case unique.

Article 501 (A-C) off the WMO, states that, "A Development shall not:

- Increase flood elevations or decrease flood conveyance capacity upstream or downstream of the property holding.
- B. Pose any increase in flood velocity or impairment of the hydrologic and hydraulic functions of streams and floodplains unless water resource benefit is realized;
- C. Unreasonably or unnecessarily degrade surface or ground-water quality. "

We took these three requirements into consideration when coming to our decision. This development does meet these requirements and the Village will work hand in hand with MWRD to make sure the Developer holds firm to these requirements. For the Variance sought at 6810 Mannheim, the scope of work surrounding the overall project seeks relief from the .5 acre trigger of drainage because the disruption in this case is a reduction of use and thus not necessary for applied purposes of requiring such additional drainage. The work on the north side of the existing building will be just resurfacing the parking lot whereby the pitch is corrected. This will result in having all the water drains away from the building with installation of two new awnings to cover up the entrances of the hotels. The work on the south side will consist of demolition of the small addition that was previously an indoor pool. This pool will be removed entirely and replaced into a flat surface area.

The Village is committed to providing the best opportunities for our residents, visitors, and business'. We firmly believe that this development scheme is positive for our community and support the Developer Chicago Mannheim Chicago, LLC in their efforts to renovate a hotel development. After weighing all the alternative options and circumstances of the project we offer an opinion of No Objection to the proposed Variance.

Sincerely,

The Village of Rosemont





APPENDIX C: PETITION FOR VARIANCE RESUBMITTAL, RECEIVED MARCH 29, 2021 PAGE C-16



APPENDIX C: PETITION FOR VARIANCE RESUBMITTAL, RECEIVED MARCH 29, 2021 PAGE C-17

## AFFIDAVIT OF MAILING

I, Carmen Rossi (City Lake Law) representing Hotel Mannheim Group do hereby swear that a Notice of Petition was mailed to all nearby homeowners or businesses surrounding 6810 Mannheim Road, Rosemont, IL.

The Notice of Petition was mailed on March 24th, 2021 from the mail box at

110 W Hubbard Street, Chicago, IL.

Carmen Rossi / City Lake Law

Signature

110 W Hubbard Street Chicago, IL 60654

Sworn in front of me\_ Joseph A. Zagorski

On March 24th, 2021.

My commission ends on:	2
My name: Jospla - Zil	4
V	OFFICIAL SEAL JOSEPH A ZAGORSKI
	NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES: 02/13/22

#### ATTACHMENT 3

List of Property Owners Within 250' of the Site 09-32-203-005-0000 HOTEL MANNHEIM CHGO LL 6810 MANNHEIM RD ROSEMONT, IL 60018

09-32-206-012-0000 EXEMPT

09-32-206-016-0000 EXEMPT

09-32-207-025-0000 EXEMPT

09-32-207-028-0000 PEACOCK OIL CO 115 GAYLORD ST ELK GROVE VL, IL 60007

09-32-207-040-0000 EXEMPT

09-32-211-006-0000 EXEMPT

09-32-212-001-0000 EXEMPT

09-32-212-004-0000 EXEMPT

09-32-401-019-0000 ROSEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO, IL 60661 09-32-205-014-0000 EXEMPT

09-32-206-013-0000 EXEMPT

09-32-206-017-0000 TAXPAYER OF 6810 MANNHEIM RD ROSEMONT, IL 60018

09-32-207-026-0000 EXEMPT

09-32-207-038-0000 EXEMPT

09-32-211-004-0000 EXEMPT

09-32-211-007-0000 EXEMPT

09-32-212-002-0000 EXEMPT

09-32-212-015-0000 TAXPAYER OF 6810 MANNHEIM ROAD ROSEMONT, IL 60018

09-33-108-008-0000 JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES, IL 60018 09-32-206-007-0000 EXEMPT

09-32-206-014-0000 EXEMPT

09-32-207-005-0000 EXEMPT

09-32-207-027-0000 EXEMPT

09-32-207-039-0000 EXEMPT

09-32-211-005-0000 EXEMPT

09-32-211-009-0000 DEVELOPMENT RESOURCES 333 N DESPLAINES ST CHICAGO, IL 60661

09-32-212-003-0000 EXEMPT

09-32-401-018-0000 R0SEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO, 1L 60661

09-33-108-009-0000 JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES, IL 60018 09-33-108-010-0000 JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES, IL 60018

09-33-108-013-0000 CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES, IL 60018

09-33-108-023-0000 CAFE LA CAVE RE JS GAR 2777 S MANNHEIM RD DES PLAINES, IL 60018

09-33-109-063-0000 ARUCH POONSAPAYA 1666 FARWELL AVE DES PLAINES, IL 60018

09-33-300-002-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-005-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-008-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-301-011-0000 EXEMPT

09-33-301-013-0000 EXEMPT

09-33-305-027-0000 EXEMPT 09-33-108-011-0000 JOHN IMREJBE 2711 MANNHEIM RD DES PLAINES, IL 60018

09-33-108-014-0000 CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES, IL 60018

09-33-108-024-0000 2655 AC LLC 15941 S HARLEM AVE 108 TINLEY PARK, IL 60477

09-33-110-034-0000 CTLTC 8002381617 1665 FARWELL AVE DES PLAINES, IL 60018

09-33-300-003-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-006-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-009-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-301-012-0000 EXEMPT

09-33-305-024-0000 CITY OF DES PLAINES 1420 MINER ST DES PLAINES, IL 60016

09-32-211-001-0000 EXEMPT 09-33-108-012-0000 CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES, IL 60018

09-33-108-022-0000 CAFE LA CAVE RS JS GAR 2777 S MANNHEIM RD DES PLAINES, IL 60018

09-33-109-062-0000 RAY MARIA BAHAMON 2725 GRECO LANE DES PLAINES, IL 60018

09-33-300-001-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-004-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-300-007-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, 1L 60018

09-33-301-008-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT, IL 60018

09-33-301-014-0000 NCB DEVELOPMENT XXVIII 6111 N RIVER ROAD #4 ROSEMONT, IL 60018

09-33-305-025-0000 CITY OF DES PLAINES 1420 MINER ST DES PLAINES, IL 60016

09-32-211-002-0000 EXEMPT 09-32-211-008-0000 EXEMPT 09-32-210-010-0000 EXEMPT OHARE FIELD 09-32-210-017-0000 EXEMPT OHARE FIELD


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DL.	Realinfo LLC Zoning Search 09-32-203-005-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	SHERATON BLACKSTONE CORP, SHERATON BLACKSTON CORP 6810 N MANNHEIM RD ROSEMONT IL, HOTEL MANNHEIM CHGO LL 6810 MANNHEIM RD ROSEMONT IL 60018 N/A \$2,575,000 Sale Date: 2/11/1982 26142384 - DEED OF SALE
)	RealInfo LLC Zoning Search 09-32-205-014-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL, N/A N/A Sale Date:
-	RealInfo LLC Zoning Search	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL , ° 0 N/A N/A Sale Date:
)	09-32-206-007-0000		
)	09-32-206-007-0000 Realinio LLC Zoning Search 09-32-206-012-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL. : 0 N/A N/A N/A Sale Date:

	RealInfo LLC Zoning Search 09-32-208-013-0000	Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:
6)	RealInfo LLC Zoning Search 09-32-206-014-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount; Document #:	IL , 0 N/A N/A Sale Date:
7)	RealInfo LLC Zoning Search 09-32-206-016-0000	Owner Name; Site Address; Tax Payer Name; Tax Payer Address : Telephone #; Sale Amount; Document #;	GREATER CAPITAL CORP (UND 37.4% INT), 6810 N MANNHEIM RD ROSEMO IL; 0 N/A N/A Sale Date: 1/15/1986 86020594 - QUIT CLAIM DEED
3)	Realinfo LLC Zoning Search 09-32-206-017-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	HOTEL MANNHEIM CHICAGO LLC, 6810 N MANNHEIM RD ROSEMONT IL 60018, TAXPAYER OF 5810 MANNHEIM RD ROSEMONT IL 60018 N/A \$5,080,000 Sale Date: 9/12/2012 1225601094 - SPECIAL WARRANTY DEED
<b>)</b> )	Realinfo LLC Zoning Search 09-32-207-005-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IL. 0 N/A N/A Sale Date:
(0)	RealInfo LLC Zoning Search 09-32-207-025-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:
(1)	RealInfo LLC Zoning Search 09-32-207-026-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	THE VILLAGE OF ROSEMONT, IL, N/A N/A Sale Date: 9/30/1974 22862221 - WARRANTY DEED
2)	RealInfo LLC Zoning Search 09-32-207-027-000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL, NA N/A Sale Dato;
(3)	Realinfo LLC Zoning Search 09-32-207-028-000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount; Document #:	IL, PEACOCK OIL CO 115 GAYLORD ST ELK GROVE VL IL 60007 N/A N/A Sale Date:
(4)	Realinfo LLC Zoning Search 09-32-207-038-000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount:	IL , : 0 N/A N/A Sale Date:

		Document #:	•
15)		Owner Name:	
5)		Site Address:	r IL.
		Tax Payer Name:	
	Realinfo LLC	Telephone #:	N/A
	20ning Search 09-32-207-039-0000	Sale Amount:	N/A Sale Date:
_		Document #.	
6)		Owner Name: Site Address:	1 files
	1	Tax Payer Name:	
	Reallofo LLC	Tax Payer Address :	0
	Zoning Search	Sale Amount	N/A Sale Date:
	09-32-207-040-0000	Document #:	
7)		Owner Name:	
()		Site Address:	L.
	<u>.</u>	Tax Payer Name:	0
	Realinfo LLC	Telephone #:	N/A
	20ning Search 09-32-211-004-0000	Sale Amount:	N/A Sale Date:
		Document #:	
(8)	A	Owner Name: Site Address	- 1 L
-01	1	Tax Payer Name:	124
	Reallofo LLC:	Tax Payer Address :	0
	Zoning Search	Sale Amount:	N/A Sale Date:
	09-32-211-005-0000	Document #:	
95		Owner Name:	FIRST BK OF OAK PARK UTA DTD NOV/00/74.
2)		Site Address:	IL,
	n	Tax Payer Address :	0
	Realinfo LLC	Telephone #:	N/A
	09-32-211-006-0000	Sale Amount: Document #:	N/A. Sale Date: 1/30/1975 22981232 - DEED IN TRUST
		Document w.	
20)	<b>A</b>	Owner Name: Site Address:	н.
	1.1	Tax Payer Name:	
	Realinfo LLC	Tax Payer Address :	0 N/A
	Zoning Search	Sale Amount:	N/A Sale Date:
	09-32-211-007-0000	Document #:	1
-		Owner Name:	ROSEMONT O'HARE HOTEL PROPERTIES LLC.
/-		Site Address:	6600 N MANNHEIM RD ROSEMONT IL 60018, DEVELOPMENT RESOURCES
	n	Tax Payer Address :	333 N DESPLAINES ST CHICAGO IL 60661
	Zoning Search	Telephone #:	N/A
	09-32-211-009-0000	Document #:	S16632036 - QUIT CLAIM DEED
221		Owner Name:	
(44		Site Address:	Щ.,
		Tax Payer Name: Tax Payer Address	0
	Realinfo LLC	Telephone #:	NA
	Zoning Search 09-32-212-001-0000	Sale Amount:	N/A Sale Date:
		Document #:	•
23)	A	Owner Name:	0.02
	1	Tax Payer Name:	
	Reallofo LLC	Tax Payer Address :	0
	Zoning Search	Telephone #: Sale Amount	N/A N/A Sale Date:
	09-32-212-002-0000	Document #:	
		Owner Name:	
-1		Site Address:	il. <sub>F</sub>
		ian rayer Name.	

	RealInfo LLC Zoning Search 09-32-212-003-0000	Tax Payer Address Telephone #: Sale Amount: Document #:	0 N/A N/A Sale Date:
25)	Realinfo LLC Zoning Search 09-32-212-004-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	IL , 0 N/A N/A Sale Date:
26)	Realinfo LLC Zoning Search	Owner Name: Site Address: Tax Payer Name: Tax Payer Address	SHERATON BLACKSTONE CORP, SHERATON BLACKSTON CORP 6810 N MANNHEIM RD ROSEMONT IL 60018, TAXPAYER OF 6810 MANNHEIM ROAD ROSEMONT IL 60018
	09-32-212-015-0000	Sale Amount: Document #:	82,575,000 Sale Date: 2/11/1982 26142384 - DEED OF SALE
27)	Realinfo LLC Zoning Search 09-32-401-018-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	ROSEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO IL 60661 N/A Sale Date:
28)	Realinfo LLC Zoning Search 09-32-401-019-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	ROSEMONT O'HARE HOTEL 333 NORTH DESPLAINES S CHICAGO IL 60661 N/A Sale Date:
29)	RealInfo LLC Zoning Search 09-33-108-008-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES GAR WASH MANAGEMENT LLC, 2711 SMANNHEIM RD DES PLAINES IL 60018, JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES IL 60016 N/A N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED
30)	Realinfo LLC Zoning Search 09-33-108-009-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES CAR WASH MANAGEMENT LLC, 2711 S MANNHEIM RD DES PLAINES IL 60018, JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES IL 60018 N/A. N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED
31)	Realinfo LLC Zoming Search 09-33-108-010-0000	Owner Name: Site Address: Tax Payer Name; Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES CAR WASH MANAGEMENT LLC, 2711 SMANNHEIM RD DES PLAINES IL 60018, JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED
32)	Realinfo LLC Zoning Search 09-33-108-011-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #: Sale Amount: Document #:	DES PLAINES CAR WASH MANAGEMENT LLC, 2711 S MANNHEIM RD DES PLAINES IL 60018. JOHN IMREIBE 2711 MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/27/2011 1102718045 - QUIT CLAIM DEED
33)	Realinfo LLC Zoning Scarch	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Telephone #:	BEVERLY TRUST CO TR#74-2635 DTD DEC/27/96, 2733 N MANNHEIM RD DES PLAINES IL, CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES IL 60018 N/A

	09-33-108-012-0000	Sale Amount: Document #:	N/A Sale Date: 1/8/1997 97016606 - DEED OF SALE	
4)	RealInfo LLC Zoning Search 09-33-108-013-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2733 N MANNHEIM RD DES PLAINES IL. CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/8/1997 97016606 - DEED OF SALE	
5)	RealInfo LLC Zoning Search 09-33-108-014-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2733 N MANNHEIM RD DES PLAINES IL , CAFE LA CAVE 2777 S MANHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/8/1997 97016606 - DEED OF SALE	
6)	Realinfo LLC Zoning Search 09-33-108-022-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2777 N MANNHEIM RD DES PLAINES IL 60018, CAFE LA CAVE RS JS GAR 2777 S MANNHEIM RD DES PLAINES IL 60018 N/A. N/A. Sale Date: 1/8/1997 97016607 - DEED IN TRUST	
7)	RealInfo LLC Zoning Search 09-33-108-023-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BEVERLY TRUST CO TR#74-2535 DTD DEC/27/96, 2777 N MANNHEIM RD DES PLAINES IL 60018, CAFE LA CAVE RE JS GAR 2777 S MANNHEIM RD DES PLAINES IL 60018 N/A N/A Sale Date: 1/8/1997 97016607 - DEED IN TRUST	
8)	RealInfo LLC Zoning Search 09-33-108-024-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	2655 AC LLC, 2655-95 S MANNHEIM RD DES PLAINES IL 60018, 2655 AC LLC 15941 S HARLEM AVE 108 TINLEY PARK IL 60477 N/A \$4,058,500 Sale Date: 5/1/2017 1712139154 - SPECIAL WARRANTY DEED	
9)	RealInfo LLC Zoning Search 09-33-109-062-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	BAHAMON MARIA G,BAHAMON RAY 2725 GRECO LN DES PLAINES IL 60018, RAY MARIA BAHAMON 2725 GRECO LANE DES PLAINES IL 60018 N/A N/A Sale Date: 9/20/1989 89443511 - WARRANTY DEED	
0)	RealInfo LLC Zoning Search 09-33-109-063-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount; Document #:	POONSAPAYA ARUCH, 1666 FARWELL AV DES PLAINES IL 60018, ARUCH POONSAPAYA 1666 FARWELL AVE DES PLAINES IL 60018 N/A \$210,000 Sale Date: 4/8/2011 1109849015 - WARRANTY DEED	
1)	RealInfo LLC Zoring Search 09-33-110-034-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address Tate Payer Address Telephone #: Sale Amount: Document #:	CHICAGO TITLE LAND TRUST COMPANY, TRUST NUMBER 8002381517 1655 FARWELL AV DES PLAINES IL 60018, CTLTC 8002381617 1665 FARWELL AVE DES PLAINES IL 60018 N/A N/A Sale Date: 8/29/2019 1924106028 - DEED IN TRUST	
2)	RealInfo LLC Zoning Search 09-33-300-001-0000	Owner Name: Site Address; Tax Payer Name: Tax Payer Address; Telephone #: Sale Amount; Document #:	LA QUINTA PROPERTIES INC, 2611 N MANNHEIM RD DES PLAINES IL 60018, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$434,500 Sale Date: 1/2/2003 30004640 - DEED OF SALE	

Owner Name:

43)	Realinfo LLC Zoning Search 09-33-300-002-0000	Site Address: Tax Payer Name; Tax Payer Address ; Telephone #: Sale Amount: Document #:	2811 W MANNHEIM DR DES PLAIENS IL . NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A N/A Sale Date:
44)	Reallofo LLC Zoning Search 09-33-300-003-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	4721 W LAKE ST MELROSE PARK IL , NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A N/A Sale Date:
45)	Realinfo LLC Zoning Search 09-33-300-004-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	IMAGE DES PLAINES LLC, 2811 N MANNHEIN RD DES PLAINES IL NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$500,000 Sale Date: 1/8/2019 1900822021 - SPECIAL WARRANTY DEED
46)	Realinfo LLC Zoning Search 09-33-300-005-0000	Owner Name; Site Address: Tax Payer Name: Tax Payer Address ; Telephone #; Sale Amount: Document #;	IMAGE DES PLAINES LLC, 2811 MANNHEIN RD DES PLAINES IL, NGB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A 5500,000 Sale Date: 1/8/2019 1900822021 - SPECIAL WARRANTY DEED
47)	RealInfo LLC Zoning Search 09-33-300-006-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount; Document #:	LA QUINTA PROPERTIES INC. 2811 N MANNHEIM RD DES PLAINES IL 60018. NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$434,500 Sale Dato: 1/2/2003 30004840 - DEED OF SALE
48)	Realinfo LLC Zoning Search 99-33-300-007-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address ; Telephone #: Sale Amount: Document #:	4721 W LAKE ST MELROSE PARK IL , NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60010 N/A N/A Sale Date:
49)	Realinfo LLC Zoning Search 09-33-300-008-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	PROMINENCE DES PLAINES LLC, 2811 MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$2,050,000 Sale Date: 1/3/2019 1900313033 - SPECIAL WARRANTY DEED
50)	Realinfo LLC Zoning Search 09-33-300-009-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #:	PROMINENCE DES PLAINES LLC, 2011 MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$2,050,000 Sale Date: 1/3/2019 1900313033 - SPECIAL WARRANTY DEED
51)	RealInto LLC Zoning Search 09-33-301-008-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount: Document #;	PROMINENCE DES PLAINES LLC, 2811 MANNHEIN RD DES PLAINES IL, NCB DEVELOPMENT XXVIII 6111 N RIVER RD #4 ROSEMONT IL 60018 N/A \$2,050,000 Sale Date: 1/3/2019 1900313033 - SPECIAL WARRANTY DEED
52)	RealInfo LLC Zoning Search 09-33-301-011-0000	Owner Name: Site Address: Tax Payer Name: Tax Payer Address : Telephone #: Sale Amount:	2845 MANNHEIM RD DES PLAINES IL , D N/A N/A Sale Date:

4)	Realinfo LLC Zoning Search -33-301-012-0000	Telephone #: Sale Amount: Document #: Owner Name:	N/A N/A Sale Date:	
4)		Owner Name:		
		Tax Payer Name:	S/SE CRNR PRATT AV & ORCHARD PL DES PLAINES IL 50018, NCB DEVELOPMENT XXVIII	
	Realinfo LLC	Tax Payer Address	6111 N RIVER ROAD #4 ROSEMONT IL 60018	
09-	Zoning Search -33-301-014-0000	Telephone #: Sale Amount: Document #:	N/A \$681,500 Sale Date: 1/2/2003 30004842 - DEED OF SALE	
55)	<b>A</b>	Owner Name: Site Address:		
	Realinfo II C	Tax Payer Address	1420 MINER ST DES PLAINES IL 60016	
09-	Zoning Search -33-305-024-0000	Telephone #: Sale Amount: Document #:	N/A Sale Date:	
56)		Owner Name: Site Address:	IL.	
	Peollafe LLC	Tax Payer Name: Tax Payer Address	: 1420 MINER ST DES PLAINES IL 80016	
09-	Zoning Search -33-305-025-0000	Telephone #: Sale Amount: Document #:	N/A Sale Date:	

	typePrivate Partygory:Individualausausoup:Classifiedoup:Classifiedadd:100290779aber:100290779aber:100290779anteSAMSONbor:SAMSONbor:LI0 HUBBARD STaber:CHICAGObor:Laber:bott
NDS O	Customer State Customer State Customer T Account Nur Phone Nur Company / Indivi Customer N Customer Nur Routing Nur
CHICAG March 25, 2021	Transaction Type:       Payment         Order Number:       0001123402         Payment Method:       Credit Card         Bad Debt:       -         Credit Card Number:       -         Bad Debt:       -         Credit Card Number:       -         Payment Annount:       5384.00         Reference Number:       227197         Charge to Company:       Sun Times Media         Charge to Company:       Sun Times Media         Charge to Company:       Sun Times Media         Transaction Number:       P499020         Invoice Text:       Invoice Notes:

# NOTICE OF PETITION

Dear Property Owner

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The Variance is being requested so that the existing, vacant hotel on location can be remodeled into a new La Quinta Hotel and seeking Variance to use existing drainage on site. There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

Copies of the full Petition of Variance may be obtained by contacting Hotel Mannheim Group representative, Aberdeen Construction via phone at 773-930-4150.

Upon request, any and all documents concerning this Petition for Variance will be made available for inspection at the Development location noted above

Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago Clerk of the District 100 East Erie Street Chicago, IL 606011

Hotel Mannheim Group

## NOTICE OF PETITION

Hotel Mannheim Group located at 6810 Mannheim Road in the City of Rosemont, is proposing a Variance for relief from the MWRD's detention and retention requirements at 6810 Mannheim Road in the Village of Rosemont.

The total contiguous ownership is 8.39 acres and the proposed development will disturb approximately 2.0 acres. The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 acres.

There will be no new and no additional plumbing capacities added to the site and thus no disruption to the current drainage schematic.

Any person may submit written comments regarding this Petition for Variance to the Clerk of the MWRDGC within twenty-one (21) calendar days of this publication.

Comments should be sent to:

Metropolitan Water Reclamation District of Greater Chicago Clerk of the District 100 East Erie Street Chicago, IL 606011

Hotel Mannheim Group,











APPENDIX C: PETITION FOR VARIANCE RESUBMITTAL, RECEIVED MARCH 29, 2021 PAGE C-37



APPENDIX C: PETITION FOR VARIANCE RESUBMITTAL, RECEIVED MARCH 29, 2021 PAGE C-38



APPENDIX C: PETITION FOR VARIANCE RESUBMITTAL, RECEIVED MARCH 29, 2021 PAGE C-39

### 8/11/2020

Brett Duffy, P.E. SPACECO, Inc. 9575 W. Higgins Road, Suite 700 Rosemont, Illinois 60018 Email: bduffy@spacecoinc.com

Dear Mr. Duffy:

Subject: WMO Permit Application No.: 20-172 Review Letter No.: 1 Name of Project: 6810 Mannheim Road Development Municipality: Rosemont

Review of the subject application, drawings, and supporting documentation has been completed. The items listed below must be addressed prior to issuance of a permit.

#### General Comments:

- Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance.
- This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.
- Additional fees are required for detention review and the recordation deposit. Submit an
  updated fee payment voucher and check for the remaining fees.

### **Permit Application:**

- 4. Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.
- Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

#### Plans:

- Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.
- 7. Sheet 2: Revise General Note 4 or mark the plans "For Construction".

1 of 2

- Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.
- Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.
- Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.
- 11. Provide the MWRD General Notes as part of the plan set.
- Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.
- Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.

Please revise the permit application, plans, and supporting documentation accordingly, submit two (2) copies of the revised permit application pages, two (2) complete sets of revised plans, and a written response addressing each of the above items within 30 days. Permit applications will not be kept open indefinitely. The permit application may be canceled by the District if a resubmittal has not been received within 90 days, following the first review letter (WMO §1401.3.B). In addition, the permit application may be canceled by the District if meaningful compliance progress is not made within 180 days following the first review letter.

If there are any questions, please email me at cunicom@mwrd.org.

Respectfully. Michael Cunico

Michael Cunico, P.E. Associate Civil Engineer



9575 W Higgins Road, Suite700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065

October 9, 2020

Michael Cunico, P.E. Metropolitan Water Reclamation District of Greater Chicago Local Sewer Systems Section 111 East Erie Street, Sixth Floor Chicago, IL 60611

RE: MWRD PERMIT NO.: 20-172 6810 MANNHEIM ROAD DEVELOPMENT VILLAGE OF ROSEMONT COOK COUNTY, ILLINOIS SPACECO PROJECT NO: 8055.04

Dear Mr. Cunico:

On behalf of our Client, we are submitting the revised documents for the MWRDGC Sewerage System Permit for the proposed site improvement plans for the proposed 6810 Mannheim Road development located in the Village of Rosemont, Illinois. Enclosed for your review and comment are:

Enclosed for your review and comment are:

- 1. Two (2) copies of the revised MWRD Permit Application Sheets including Schedule P
- Two (2) sets of the Site Improvement Plans for 6810 Mannheim Road Development signed and sealed dated June 8, 2020, last revised October 9, 2020
- 3. Two (2) copies of the revised Stormwater Management Report dated October 2020

Attached are our responses to your review comments dated August 11, 2020.

Sincerely,

SPACECO, Inc.

Brett Duffy, P.E. Principal

cc: John Li, Eric Chang – Hotel Mannheim Chicago, LLC Daniel Lynch, Mark Wrzeszcz - CBBEL Matt Murphy, Joe Lewis – SPACECO, Inc.

### GENERAL COMMENTS:

- **COMMENT 1:** Per your email on July 24, 2020, the applicant intends to file for a variance. At this time, the MWRD Engineering Department is not aware of a request for a variance being filed by the applicant with the Clerk of the District. Please refer to Article 11 of the WMO for more information if the applicant intends to seek a variance.
- RESPONSE 1: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.
- **COMMENT 2:** This project is subject to the stormwater requirements of the WMO. Provide a stormwater management report with narratives and supporting calculations with how the runoff, volume control, and detention requirements will be met.
- RESPONSE 2: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.
- COMMENT 3: Additional fees are required for detention review and the recordation deposit. Submit an updated fee payment voucher and check for the remaining fees.
- RESPONSE 3: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

### PERMIT APPLICATION:

- COMMENT 4: Page 1: Check the boxes for Schedule D, Schedule R, and Exhibit R. Submit completed versions of each. Uncheck the box for Schedule K as it is not required.
- RESPONSE 4: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. The box has been unchecked for Schedule K on the permit application's cover sheet.
- COMMENT 5: Schedule P: Items 1.C and 1.D should address volume control protection. Item 2.A should address Entrance/Exit Control.

RESPONSE 5: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover. Schedule P, Items 1.C and 1.D have been left unchecked and NA per the variance request above. Schedule P, Item 2.A, Entrance/Exit Control, has been checked and the stabilized entrance is shown at the south entrance of the site with the applicable Notes. A concrete washout is located at the south side of the site near the parking lot improvements with the applicable notes.

#### PLANS:

- COMMENT 6: Sheet 1: Provide a drainage certification on the cover sheet that indicates that the adjacent properties will not be negatively impacted as a result of the project.
- RESPONSE 6: A Drainage Certificate has been included on Sheet C1 (Cover Sheet)
- COMMENT 7: Sheet 2: Revise General Note 4 or mark the plans "For Construction".
- RESPONSE 7: Sheet 2, General Note 4 has been revised to exclude the statement, "NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION"."
- COMMENT 8: Sheet 9: Some storm sewers are proposed with less than 1 foot of cover over the top of the pipe. Please verify if the cover is sufficient.
- RESPONSE 8: All storm sewer proposed to be 10-inch pipe has been revised to 10-inch DIP. The minimum cover over the 10-inch DIP pipe is 0.8725-feet (10.5inches) which is sufficient cover over DIP. Catch basins that have less than 2-feet of cover over the pipe have been revised from a Type A catch basin to a Type C catch basin allowing for a frame on structure. The structures revised include CB-204 and CB-208.
- **COMMENT 9:** Sheet 9: Catch Basins CB-102 and CB-104 are shown with a siphon. Please verify if positive drainage can be provided by revising the invert elevations/sewer slopes. Otherwise, provide a detail of the proposed siphons.
- RESPONSE 9: The upstream invert of the existing sanitary sewer is inconclusive currently and the proposed crossing location and elevation is approximate. The contractor will need to expose the existing sanitary sewer and confirm location and elevation. After verification the siphon will remain or be revised as necessary. Increasing slope will create cover

issues upstream and reducing the slope will not provide the necessary clearance for the crossing. A siphon detail has been added to Sheet UT1

- **COMMENT 10:** Sheet 13: Provide an identifier for the IP in the symbol legend. Show the construction entrance/exit control.
- RESPONSE 10: The IP identifier has been added to the Symbol Legend on Sheet SE3 and delineates a catch-all/inlet protection. The construction entrance/exit control will be up to the means and methods of the contractor. The contractor shall utilize the existing accesses as necessary and agreed to with the existing users. Notes were added to Sheet SE3 and include the note "...Contractor shall clean parking lot and existing roadway as necessary throughout construction."

COMMENT 11: Provide the MWRD General Notes as part of the plan set.

- RESPONSE 11: The MWRD General Notes have been included in the plan set as Sheet SP2.
- COMMENT 12: Provide a storm sewer routing map as part of the plan set which delineates owners of all storm sewers from the project to the waterway.
- RESPONSE 12: The Location Map included on the Cover Sheet has been revised to include the storm sewer routing from the proposed site to the existing waterway. There is a 48-inch and 72-inch existing storm sewer running south on Mannheim Road and discharges to the Willow-Higgins Creek.
- **COMMENT 13:** Provide a drainage exhibit as part of the plan set which is a representation of the information listed on Schedule D.
- RESPONSE 13: Comment noted. The applicant is requesting a variance for relief from the MWRD's detention and retention requirements. The request will be submitted under separate cover.

# **APPENDIX D**

Village of Rosemont Engineer Email Dated January 20, 2021

## Witek, Adam

From:	Cunico, Michael
Sent:	Wednesday, January 20, 2021 12:21 PM
То:	Durkin, Maureen
Cc:	Feltes, Daniel; Gasik, Benjamin
Subject:	Fw: 20-172 - 6810 Mannheim Road Development - Rosemont
Attachments:	We sent you safe versions of your files; 20210120102022.pdf; 20210120104821.pdf

### Maureen,

Please see the email below and the attachments which were received from the Village Engineer. The Village Engineer has made it clear in the email below that the Village did not prepare the second attachment which may have been forwarded to the District as part of a variance submittal.

Michael Cunico, P.E. Senior Civil Engineer MWRDGC Local Sewers 815-909-7400

From: Daniel Lynch <dlynch@cbbel.com>
Sent: Wednesday, January 20, 2021 10:54 AM
To: Cunico, Michael <CunicoM@mwrd.org>
Cc: Mark Wrzeszcz <mwrzeszcz@cbbel.com>
Subject: RE: 20-172 - 6810 Mannheim Road Development - Rosemont

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

#### Michael

If and when a variance request is submitted by the developer of the above property, we want to clarify that the first attachment to this email <u>was prepared and signed by</u> the Village of Rosemont. The second attachment, which is not on Village letterhead nor signed by the Village, <u>was not</u> prepared by the Village. Both documents were included in a packet provided to this office and reported to be the complete variance submittal document to be submitted to the district. If you have any questions, please feel free to contact me. Dan

Daniel L. Lynch, PE, CFM Head, Municipal Engineering Department Christopher B. Burke Engineering, Ltd. 9575 W. Higgins Road, Suite 600 Rosemont, IL 60018 Phone: (847) 823-0500 Fax: (847) 823-1029 E-Mail: dlynch@cbbel.com www.cbbel.com



From: Cunico, Michael <CunicoM@mwrd.org>
Sent: Tuesday, January 19, 2021 5:06 PM
To: stephensb@villageofrosemont.org; bduffy <bduffy@spacecoinc.com>; usasiagroup@gmail.com

1 APPENDIX D: VILLAGE OF ROSEMONT ENGINEER EMAIL DATED JANUARY 20, 2021 PAGE D-1

# **APPENDIX E**

Petition for Variance Fee Payment

## INTEROFFICE MEMORANDUM

# METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO

### DEPARTMENT: Law

DATE: March 31, 2021

Jaqueline Torres, Clerck/Director of Finance TO:

Susan T. Morakalis, General Counsel / FROM:

Petition for Variance Filing Fee Payment Check SUBJECT: Hotel Mannheim Group (WMO-VP-21-01)

Attached please find check no. 2024 in the amount of \$2000.00 from City Lake Law LLC for payment of the filing fee in the above-referenced petition for variance. Please process this payment accordingly.

Should you have any questions or if you wish to discuss, please contact Senior Attorney Anastasios Foukas by phone (773-307-9350) or email (FoukasA@mwrd.org).

JTM:ATF:nl Attachment

101\_

PAY TO THE

		Clerk of the District
/		APR <b>01</b> 2021
		Metropolitan Water Reclamation District of Greater Chicago
	nt is to da digade and water mean of the second states with the second states and the second states and the second	
City Lake Law LLC 110 W Hubbard Street Chicago, IL 60654	2-2657/710 202 DATE <u>3-25-</u> 02/	24
MWRD	\$ 2,001.	
Two Thousand	Dollars	e e
×		ŝ

**BELMONT BANK & TRUST** ww.beimontbank.co 810 nann 1:0710265761 3 5000 20,4 3 7 ... 2024

APPENDIX E: PETITION FOR VARIANCE FEE PAYMENT PAGE E-1

# Crump, Cynthia

From:	Hachim, Mete
Sent:	Monday, April 5, 2021 4:24 PM
То:	Crump, Cynthia
Cc:	Schramm, Michael
Subject:	FW: Daily Deposit
Attachments:	DD20210405-0.pdf

Importance: High

Cynthia,

I just heard back from the attorney regarding the \$2,000 check from City Lake. I had previously told you to use Miscellaneous Receipts but the attorney provided a different background.

Now, therefore, please make another change to the daily deposit, as follows:

- 1. Code the \$2,000 check to 501-460270 (Permit Fees)
- 2. In the text field type City Lake Law/2024/Petition for Variance WMO-VP-21-01
- 3. Make sure that the commitment item field is correctly updated
- 4. Also make sure that the fund fields are correctly updated
- 5. You'll need to change the cash entries to increase the 501 entry by \$2K and decrease the 101 entry by \$2K.

### Mete Hachim

Supervising Accountant MWRDGC 100 East Erie Street, Chicago, IL 60611 <u>hachimm@mwrd.org</u> p: 312.751.6516 c: 872.227.6138



From: Crump, Cynthia <CrumpC@mwrd.org> Sent: Monday, April 5, 2021 3:52 PM To: Schramm, Michael <SchrammM@mwrd.org>

# **APPENDIX F**

No Public Comments Received Email Dated May 5, 2021

## Witek, Adam

From:	Durkin, Maureen
Sent:	Thursday, May 6, 2021 9:10 AM
То:	Witek, Adam; Foukas, Anastasios
Subject:	FW: WMO-VP-21-01 Hotel Mannheim Group, Rosemont

FYI

From: Torres, Jacqueline <TorresJ@mwrd.org>
Sent: Wednesday, May 5, 2021 10:33 PM
To: Durkin, Maureen <DurkinM@mwrd.org>; Johnson, Kristen <PociaskK@mwrd.org>
Subject: Re: WMO-VP-21-01 Hotel Mannheim Group, Rosemont

Hi Maureen, No comments were received for this petition of variance. Regards, Jackie Get <u>Outlook for iOS</u>

From: Durkin, Maureen <<u>DurkinM@mwrd.org</u>>
Sent: Wednesday, May 5, 2021 5:36:49 PM
To: Torres, Jacqueline <<u>TorresJ@mwrd.org</u>>
Subject: WMO-VP-21-01 Hotel Mannheim Group, Rosemont

Hello Jackie,

As you know the subject petition for variance of the WMO has been posted on the District's website and the public comment period ended on 4/16/2021. Comments were to be submitted to the Clerk of the District in writing. Can you confirm that no comments from the public for this petition for variance were received?

Thanks, Maureen Durkin

# **APPENDIX G**

WMO Permit Application 20-172

# WATERSHED MANAGEMENT PERMIT

Watershed Management Permit No.

20-172

METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO 111 EAST ERIE, CHICAGO, ILLINOIS, 60611

www.mwrd.org

**INSTRUCTIONS FOR COMPLETING PERMIT FORM:** Submit two original signed copies of this permit application (nine pages) and any required WMO schedules listed below; do not leave any blank spaces; use "X" for checking applicable information. Also submit two copies of location map and plans. Address all correspondence to the Local Sewer Systems Section; for any inquiries or assistance, telephone (312) 751-3255.

#### NAME AND LOCATION:

----

Location of Project (street address or with respect to two major streets): 6810 Mannheim Road, Village of Rosemont, Illinois 60018

Ν	Aunicipality (Township, if unincorpora	ited)		
S	ection <sup>32</sup> , Township <sup>4</sup>	1 N, Range 12	E	
P	IN (include all PINs for project, use a	dditional sheets if more than two):	09-32-203-005-0000, 09-32-206	-017-0000, 09-32-212-015-000
C	Check type of sewer area for project:	🗆 Combined Sewer Area 🛛 🔳	Separate Sewer Area	
	Project Information (Required in all c	cases)	WMO Schedule A	(Page 5 of 9)
	Sewer Summary (Required in all case	es)	WMO Schedule B	(Page 6 of 9)
	Sewer Connections (Required in all c	ases)	WMO Schedule C	(Page 7 of 9)
	Detention & Stormwater Management Facilities (WMO)		WMO Schedule D	(3 Pages)
	Detention & Stormwater Management Facilities (Legacy)		WMO Schedule $D_{Legacy}$	(4 Pages)
	Lift Station and/or Force Main		WMO Schedule E	(2 Pages)
	Characteristics of Waste Discharge		WMO Schedule F	(2 Pages)
	Treatment or Pretreatment Facilities		WMO Schedule G	(2 Pages)
	Hazard Areas (Floodplain / Floodway /Riparian Areas)		WMO Schedule H	(2 Pages)
	Affidavit Relative to Compliance with Article 7		WMO Schedule J	(1 Page)
	Affidavit of Disclosure of Property Interest		WMO Schedule K	(2 Pages)
	Notice of Requirements for Storm Water Detention		WMO Schedule L	(2 Pages)
	Current Survey of Property Interests	(Attachment for Schedule K or L)	Exhibit A	
	Outfall, Direct Connection, District O	Owned or Leased Property	WMO Schedule O	(1 Page)
	Soil Erosion and Sediment Control		WMO Schedule P	(2 Pages)
	Recording and Maintenance		WMO Schedule R	(2 Pages)
	Recording Exhibit (Attachment for S	chedule K or L)	Exhibit R	
	Wetlands and Wetland Buffer Areas		WMO Schedule W	(2 Pages)
Ref	er to Table 1 of § 201 of Article 2 of Watershed	Management Ordinance for applicable Perr	mitting Authority.	
C	THER DOCUMENTS: Indica	te title, number of pages and	originator	
Si	te Improvement Plans and Stormwater Management	Report for 6810 Mannheim Road Development	t, originated by SPACECO, Inc.	

Application rece	E ONLY ived:	WMO Permit issued:	WRP:	
Issued by:	DISTRICT	□ Authorized Municipality		

Page 1 of 9

1/17

### GENERAL CONDITIONS OF THE PERMIT

- 1. **Definitions**. The definitions of Appendix A of the Watershed Management Ordinance are incorporated into this Watershed Management Permit by reference. Additionally, the following words and phrases shall be defined as follows:
  - a) Building and Occupancy Permit. Building and Occupancy Permit issued by the Municipality.
  - b) Design Engineer. A Professional Engineer who prepares plans and specifications for the project, and signs the Watershed Management Permit Application.
  - c) Inspection Engineer. A Professional Engineer who inspects the development to ensure compliance with the design plans, specifications, a Watershed Management Permit, and the Watershed Management Ordinance.
  - d) Permit. Watershed Management Permit.
  - e) General Conditions. General Conditions contained in a Watershed Management Permit.
  - f) Special Conditions. Special conditions of this Watershed Management Permit.
- 2. Adequacy of Design. The schedules, plans, specifications and all other data and documents submitted for this Permit are made a part hereof. The Permit shall not relieve the Design Engineer of the sole responsibility for the adequacy of the design. The issuance of this Permit shall not be construed as approval of the concept or construction details of the proposed facilities and shall not absolve the Permittee, Co-Permittee or Design Engineer of their respective responsibilities.
- 3. Joint Construction and Operation Permits. Unless otherwise stated by the Special Conditions, the issuance of this Permit shall be a joint construction and operation permit, provided that the Permittee or Co-Permittee has complied with all General and Special Conditions.
- 4. Allowable Discharges. Discharges into the Sanitary Sewer system constructed under this Permit shall consist of sanitary Sewage only. Unless otherwise stated by the Special Conditions, there shall be no discharge of industrial wastes under this Permit. Stormwater shall not be permitted to enter the Sanitary Sewer system. Without limiting the general prohibition of the previous sentence, roof and footing drains shall not be connected to the Sanitary Sewer system.
- 5. Construction Inspection. All erosion and sediment control facilities, Stormwater Facilities, Detention Facilities, and Qualified Sewer Construction shall be inspected and approved by an Inspection Engineer acting on behalf of the Permittee or the Owner of the project, or by a duly authorized and competent representative of the Inspection Engineer. No sewer trenches shall be backfilled except as authorized by the Inspection

Engineer after having inspected and approved the sewer installation.

- 6. Maintenance. Stormwater Facilities, Detention Facilities, Qualified Sewer Construction, Sanitary Sewer lines, systems or facilities constructed hereunder or serving the facilities constructed hereunder shall be properly maintained and operated at all times in accordance with all applicable requirements. It is understood that the responsibility for maintenance shall run as a joint and several obligation against the Permittee, the Co-Permittee, the property served, the Owner and the operator of the facilities, and said responsibility shall not be discharged nor in any way affected by change of ownership of said property, unless the District has authorized assignment of the permit.
- Indemnification. The Permittee shall be solely 7. responsible for and shall defend, indemnify and hold harmless the Metropolitan Water Reclamation District of ("District", "MWRD", or Greater Chicago "MWRDGC") and its Commissioners, officers, employees, servants, and agents from liabilities of every kind, including losses, damages and reasonable costs, payments and expenses (such as, but not limited to, court costs and reasonable attorneys' fees and disbursements), claims, demands, actions, suits, proceedings, judgments or settlements, any or all of which are asserted by any individual, private entity, or public entity against the District and its Commissioners, officers, employees, servants, or agents and arise out of or are in any way related to the issuance of this Permit. Without limiting the generality of the preceding sentence, the provisions of this paragraph shall extend to indemnify and hold harmless the District and its Commissioners, officers, employees, servants, and agents from any claims or damages arising out of or in connection with the termination or revocation of this Permit.

The Permittee shall be solely responsible for and shall defend, indemnify and hold harmless an Authorized Municipality and its elected officials, officers, employees, servants, and agents from liabilities of every kind, including losses, damages and reasonable costs, payments and expenses (such as, but not limited to, court costs and reasonable attorneys' fees and disbursements), claims, demands, actions, suits, proceedings, judgments or settlements, any or all of which are asserted by any individual, private entity, or public entity against the Authorized Municipality and its elected officials, officers, employees, servants, or agents and arise out of or are in any way related to the issuance of this Permit. Without limiting the generality of the preceding sentence, the provisions of this paragraph shall extend to indemnify and hold harmless the Authorized Municipality and its elected officials, officers, employees, servants, and agents from any claims or damages arising out of or in connection with the termination or revocation of this Permit.

8. Sewer Construction by District. Permittee understands and acknowledges that the District has the right and power to construct and extend sewer service facilities and render such services within the area to be served by the project for which this Permit is issued, and that by the District constructing and extending such sewer service facilities and rendering such services, the facilities constructed by the Permittee under this Permit may decrease in value, become useless or of no value whatsoever, the Permittee may also sustain a loss of business, income and profits.

Therefore, by accepting this Permit and acting thereon, the Permittee, for itself, its successors and assigns, does remise, release and forever discharge the District and its Commissioners, officers, employees, servants, and agents of any and all claims whatsoever which Permittee may now have or hereafter acquire and which Permittee's successors and assigns hereafter can, shall, or may have against the District and its Commissioners, officers, employees, servants, and agents for all losses and damages, either direct or indirect, claimed to have been incurred by reason of the construction or extension at any time hereafter by the District of sewer service facilities in the service area contemplated by this Permit, the rendering of such services, which District facilities and services decrease the value of the facilities constructed by the Permittee under this Permit, make same useless or of no value whatsoever, including but not limited to, any and all damages arising under 70 ILCS 2605/19; the taking of private property for public use without due compensation; the interference with the contracts of Permittee; the interference with Permittee's use and enjoyment of its land; and the decrease in value of Permittee's land.

- 9. Third Parties. Regarding Qualified Sewer Construction, this Permit does not grant the right or authority to the Permittee: (a) to construct or encroach upon any lands of the District or of any other parties, (b) to construct outside of the territorial boundaries of the District except as allowed under an extraterritorial service agreement, (c) to construct or encroach upon the territorial boundaries of any units of local government within the District, (d) to connect to or discharge into or be served by (directly or indirectly) any sewer or sewer system owned or operated by third parties.
- 10. Costs. It is expressly stipulated and clearly understood that the Stormwater Facilities, Detention Facilities, Qualified Sewer Construction, or facilities for which the Permit is issued shall be constructed, operated and maintained at no cost to the District.
- 11. Other Sewer Construction. The District reserves the right, privilege and authority to permit others to reconstruct, change, alter and replace all sewers and appurtenances thereto at the point of connection of any sewerage system to a District interceptor and/or in public

- 12. Change of Use. This Permit shall be incorporated in the Building and Occupancy Permit for the Building or Buildings served under this Permit. The Owner or occupant of any Building served under this Permit shall not cause, or permit, a change of use of the Building to a use other than that indicated in this Permit without first having obtained a written permission from the Executive Director of the District.
- 13. Interceptors Overloading. The District hereby serves notice that its interceptors may flow full and may surcharge, and flooding of the proposed system may occur. The Permittee agrees that the proposed systems shall be constructed, operated and maintained at the sole risk of the Permittee.
- 14. **Transferability.** This Permit may not be assigned or transferred without the written consent of the Executive Director of the District or Enforcement Officer of an Authorized Municipality. However, a Sole Permittee may be required to assign or transfer the Permit when divesting itself of ownership to a third-party and should notify the District prior to such divestment so that the District may determine whether assignment to the new owner is necessary.
- 15. **Termination.** The District has the right to enforce or revoke a Permit issued by either the District or an Authorized Municipality as outlined in Article 12 of the Watershed Management Ordinance.

It is understood and agreed that in the event the Permittee shall default on or fail to perform and carryout any of the covenants, conditions or provisions of this Permit and such default or violation shall continue for sixty (60) days after receipt of notice thereof in writing given by the Executive Director of the District, then it shall be lawful for the District at or after the expiration of said sixty (60) days to declare said Permit terminated. The Permittee agrees that immediately upon receipt of written notice of such termination it will stop all operations, discontinue any discharges and disconnect the sewerage system or facilities constructed under this Permit. If the Permittee fails to do so, the District shall have the right to disconnect said system. The Permittee hereby agrees to pay for any costs incurred by the District for said disconnection.

16. **Rights and Remedies.** The various rights and remedies of the District contained in this Permit shall be construed as cumulative, and no one of them shall be construed as exclusive of any one or more of the others or exclusive of any other rights or remedies allowed by applicable rules, regulations, ordinances and laws. An election by the District to enforce any one or more of its rights or remedies shall not be construed as a waiver of the rights of the District to pursue any other rights or remedies provided under the terms and provisions of this Permit or under any applicable rules, regulations, ordinances or laws.

- 17. **Expiration.** This Permit shall expire if construction has not started within one (1) year from the date of issue. Construction under an expired Permit is deemed construction without a Permit. All construction under this Permit shall be completed within two (2) years after start of construction. If conditions so warrant, an extension may be granted. For publicly financed projects (e.g. special assessments) the one (1) year period indicated will be considered from the date of final court action.
- 18. **Revocation.** In issuing this Permit, the District or Authorized Municipality has relied upon the statements and representations made by the Permittee or his agent. Any incorrect statements or representations shall be cause for revocation of this Permit, and all the rights of the Permittee hereunder shall immediately become null and void.
- 19. Advance Notice. The Permittee shall give the District or Authorized Municipality advance notice of at least two working days prior to the following: mobilization and installation of Erosion and Sediment Control Practices; commencement of construction; excavation for Qualified Sewer Construction; Major Stormwater Systems and Detention Facilities under this Permit; and completion of construction. When advance notice is given, the Permittee shall provide the Permit number, municipality and location.
- 20. Compliance with Plans and Specifications. All construction shall be in accordance with the plans and specifications submitted for this Permit and made a part hereof. No changes in, or deviation from the plans and specifications which affect capacity, maintenance, design requirements, service area or Permit requirements shall be permitted unless revised plans have been submitted to, and approved by the District or Authorized Municipality. The Permit together with a set of the plans and specifications (revised plans and specifications, if any) shall be kept on the jobsite at all times during construction and until final inspection and approval by the District or Authorized Municipality.
- 21. Testing and Approval. All construction under this Permit shall be subject to inspection, testing and approval by the District. All testing shall be made, or caused to be made, by the Permittee at no cost to the District and in the presence of the District representative. Upon satisfactory completion of construction, the Permittee and the owner shall submit, or cause to be submitted, a completion certificate and request for approval on the form prescribed by the District. No sewer

or other facilities shall be put in service until all the conditions of the Permit have been satisfactorily met.

- 22. **Record Drawings.** Before final inspection and approval by the District or an Authorized Municipality, the Permittee shall furnish, or cause to be furnished to the District or an Authorized Municipality, a set of Record drawings and Schedule R for the site stormwater plan, Detention Facilities, Stormwater Facilities, and Qualified Sewer Construction, or a statement that the project was constructed in accordance with the original plans and specifications.
- 23. Compliance with Rules and Regulations. The Permittee hereby expressly assumes all responsibilities for meeting the requirements of all applicable rules, regulations, ordinances and laws of Local, State and Federal authorities. Issuance of this Permit shall not constitute a waiver of any applicable requirements.
- 24. Severability. The provisions of this Permit are severable, and if any provision of this Permit, or the application of any provision of this Permit, is held invalid, the remaining provisions of this Permit shall continue in full force and effect.
- 25. **Property Rights.** This Permit does not convey any property rights of any sort, or any exclusive privilege.
- 26. **Conflict with Other Conditions.** In the case of conflict between these General Conditions and any other condition(s) in this permit, the more stringent condition(s) shall govern.

W	MO SCHEDULE A Watershed Management Permit No. 20-172					
PF	<b>ROJECT INFORMATION</b>					
1.	NAME OF PROJECT 6810 Mannheim Road Development					
2.	(as shown on the plans) APPURTENANCES (check all applicable items)					
	Siphon Drop Manholes Public Lift Station Outfalls (Submit Sch. E)					
	Stream Crossing Direct Connections to District -> Describe Not Applicable					
3. RECEIVING SANITARY/COMBINED SEWER SYSTEM						
	A. System that project will connect to is:         ✓       Existing         □       Proposed /Under Construction→ District Permit #					
	List owners of all sewers from project to District interceptor 21" MWRD Sanitary Sewer along Pratt Street					
4.	. RECEIVING STORM SEWER SYSTEM TRIBUTARY TO WATERWAY					
	A. System that project will connect to is:         ✓ Existing       □ Proposed /Under Construction→District Permit #					
	List owners of all sewers from project to waterway 72" Village of Rosemont Storm Sewer Tributary to Willow-Higgins Creek					
5.	EXISTING LIFT STATION					
	✓ No ☐ Yes → Receiving system includes existing lift station					
	If yes, indicate location					
6.	5. FLOOD PROTECTION AREAS Does any part of the project area impact the following? (check all applicable items)					
	Floodplain/Floodway/Riparian       Wetlands/Riparian         (Schedule H)       (Schedule W)					
7.	SIZE OF PROJECT					
А. В.	Total contiguous ownership8.38acresC. Before development 1.49acresDevelopment Area2.00acresD. After development 1.81acres					
8. STORMWATER MANAGEMENT						
	<ul> <li>A. Is project in the service area of an existing District permitted detention facility?</li> <li>✓ No</li></ul>					
B. Is stormwater management provided under this permit? ✓ No Yes → Required by: District Other						
	2. Type of stormwater management					
	Runoff ControlVolume ControlDetention Storage					
	Page 5 of 9					
# WMO SCHEDULE B SEWER SUMMARY

Watershed Management Permit No.

20-172

PROJECT NAME: 6810 Mannheim Road Development

(as shown on the plans)

1. SEWER SUMMARY: Include all qualified sewer construction sewers (Sanitary sewers in combined and separate sewer areas and Storm sewers in combined sewer area) and their tributary type: Sanitary (San), Combined (C), Storm to Combined (SC), Storm to Waterway (SW), or Storm part of Volume Control (SVC)

Tributary Type	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Pipe Size (in.)							
Total Length (ft.)							
Min. slope used							
Pipe Material *							
Total Manholes							
Total Cleanouts							
Catch Basin/Inlets							
Frief description	anced	whether		Sewer extens	ion to serve f	uture develoj	oment
Sewer system	m serving a s	subdivision		Storm sewers	in combined	sewer area	
Off-site trun	k sewer to se	erve subdivis	sion	Service conne	ections to ser	ve buildings	(Sch. C)
Other							
. SEWER EXTEN Identify proposed pr appropriate box and	SIONS roject design submit serv	ed to service ice area map	e future conne and estimate	ections (not ir of populatio	ncluded in Sch n equivalent (	hedule C). Cl (PE) to be set	heck the rved.
NO NO	YES	>	Service a	irea map			
			P.E. esti	mate submitte	ed		

WMO SCHEDULE SEWER CONNECT (FILL OUT ALL SECTIONS	C Watershed Management <b>TIONS</b> <b>THAT APPLY</b> )	Permit No.	20-172
1. BUILDING CONNECTIO	ON DATA		
A. RESIDENTIAL BUILD	DINGS		
Single Family	Total dwelling units * Number of sewer connection	ns *	PE**
🗌 Multi Family	Total dwelling units * Number of sewer connection	ns *	PE***
B. COMMERCIAL& RECH	REATIONAL BUILDINGS	EXISTING	PE**
<ul> <li>C. INDUSTRIAL BUILDIN Number of sew <ul> <li>Each sanitary lin</li> <li>Each sanitary lin</li> <li>Population Equi</li> </ul> </li> <li>2. BUILDING USE - (Check <ul> <li>A. COMMERCIAL &amp; REC</li> <li>Describe use of buildings, in and internal resturaunts</li> </ul> </li> </ul>	NGS ver connections ne exiting a building is a connervalent (Submit calculations for each or <b>all that apply)</b> CREATIONAL neluding principal product(s) o	ection connection and total fr r activities <u>Redeve</u>	PE <sup>**</sup>
Food preparation or processing	g (install grease separator)	Laundromat (	(install lint basin)
Swimming pool (provide pool	plans)	Auto service	(install triple basin)
Manufacturing (describe) Other		Auto wash (in	nstall mud basin)
B. INDUSTRIAL BUILD Describe use of buildings, in	INGS ncluding principal product(s) o	or activities <u>N/A</u>	
Sewer connect	ions will receive domestic sew e is produced	rage only	

plans along with flow diagram for pretreatment system.

1/15

WMO Permit Number:
opment
d in Item 1.C will be protected from erosion and sedimentation OL PRACTICES: Submit a soil erosion and sediment control plan Include a sequence for all major construction activities. All practices
ment control practices installed as part of the project:         ve Control       Filtration for Dewatering         / Mulching       Conveyance Channel         1       Velocity Dissipation         t Trap       Cofferdam / Silt Curtain         t Basin

# **ENGINEERING CERTIFICATIONS**

Watershed Management Permit No.

20-172

**CERTIFICATE BY DESIGN ENGINEER:** I hereby certify that the project described herein has been designed in accordance with the requirements set forth in this application and all applicable ordinances, rules, regulations, local, state and federal laws, and design criteria of the issuing authority; that the storm drainage and sanitary sewer system designed for this project are proper and adequate; that where the design involves one or more connections to an existing local sewer system, the capacity of said system has been examined and the system is found to be adequate to transport the stormwater and/or wastewater that will be added through the proposed sewer without violating any provisions of the Illinois Environmental Protection Act or the rules and regulations thereunder.

Comments, if any:

A44675092466

Engineering/Firm; sp	ACECO, Inc.		Telephone:	(847) 696 - 4060
Add#052-053198	Road, Suite 700	City: Ro	osemont	Zip: _60018
REGISTERLE PROFESSIONAL * PLE SEAL OF	re: But Duff	and Title)	пара	Date: 6/572020
/LLINO Email A	ddress: bduffy@spaceco	inc.com		
CERTIFICATE BY M	UNICIPAL OR SYSTEM	ENGINEE	<b>R</b> : The application	and the drawings, together with
other data being submitted wir requirements. The manner of system to which the project dis wastewater that will be added Act or the rules and regulation	th this application, have been exar drainage is satisfactory and proper scharges has been examined and th through the proposed sewer withous thereunder.	nined by me er in accordan ee system is fo ut violating a	and are found to be ace with local require ound to be adequate t ny provisions of the	in compliance with all applicable ements. The existing local sewer o transport the stormwater and/or Illinois Environmental Protection
I hereby certify that the p Owner of Local Sewer	System: Village of Rosemont	iicipal corp	orate limits. 🔀 Y	YES 🗖 NO
<b>Municipal Engineer:</b>	Christopher B. Burke Engineering, Ltd.		Telephor	ne: (847) 823-0500
Address: 9575 W. Higgins	Road, Suite 600	City: F	Rosemont	Zip 60018
Signatu	re: 1 hund the 1 HE AD			
SEALER Email A	(Name (Name	and Title)	COM	Date: <u>6-29-20</u>
SEAFE Email A	(Name Address: <u>270001000</u>	and Title)	COM	Date: <u>6-29-20</u>
<b>CERTIFICATE BY IN</b> compliance with the data and prior to making any changes t that a set of RECORD drawin Municipality before testing an	(Name Address: <u>27000000000000000000000000000000000000</u>	and Title) <i>TSISEZ</i> . I hereby certification; that ance, design rsigned Enginorized Munic	<i>Com</i> fy that construction of approval will be ob requirements, service neer will be furnishe ipality of the completion	<b>Date:</b> <u>C-29-20</u> If the project will be in substantial tained from the issuing authority e area or the Permit requirements; d to the District or an Authorized eted work.

 Addressionads
 Withogins Road, Suite 700
 City:
 Rosemont
 Zip
 60018

 PROFESSIONAD
 OF
 Signature:
 B
 B
 Pincing intervention
 Date:
 6/5/2020

 Vision
 ILLINO'S
 Email Address:
 bduffy@spacecoinc.com
 bduffy@spacecoinc.com

Page 8 of 9

#### **SPECIAL CONDITIONS** Watershed Management Permit No.

20-172

This Permit is issued subject to the General Conditions and the attached Special Conditions.

If Permit is granted:

Please return two (2) copies of the Permit to the Permittee; or
 Please mail one (1) copy to Permittee and one (1) copy to the person designated below:

Name: Brett M. Duffy

Address :	1	9575 W. Higgins Road, Rosemont, IL 60018, Suite 700
Email :	;	bduffy@spacecoinc.com

**CERTIFICATE BY APPLICANTS:** We have read and thoroughly understand the conditions and requirements of this Permit application, and agree to conform to the Permit conditions and other applicable requirements of the District. It is understood that construction hereunder, after the Permit is granted, shall constitute acceptance by the applicants of any Special Conditions that may be placed hereon by the District or an Authorized Municipality. It is further understood that this application shall not constitute a Permit until it is approved, signed and returned by the Director of Engineering of the District or Enforcement Officer of an Authorized Municipality.

PERMITTEE	CO-PERMITTEE				
The project area is within	(Co-Permittee is Property Owner)				
municipal corporate limits.	Title to property is held in a land trust: 🛄 Yes 🔳 No				
Yes No Not Applicable	If yes, Co-Permittee shall be beneficiary with Power of				
	Direction				
Municipality Village of Rosemont	Owner Hotel Mannheim Chicago, LLC				
Address 9501 W. Devon Ave. #200	Address 916 W. 21st Street				
City Rosemont Zip 60018	City Chicago Zip 60608				
Signature MMM	Signature Eric Chang				
Name Brackley A. Stephens	Name Eric Chang				
(Print)	(Print)				
Title President					
Date 6-29-20 Phone 847 825-4454	Date <u>6/4/2020</u> Phone <u>312-969-3580</u>				
Email stephensbe village of Rosemont. org	Email usasiagroup@gmail.com				
<b>REVIEW AND APPROVAL BY THE DIS</b>	TRICT OR AUTHORIZED MUNICIPALITY				
Reviewed by:	Date				
(Local Sewer Systems) or (Profe	ssional Engineer)				
City Hosemont       Lip 60018         Signature       Signature         Name       Brookley A. Stephens         (Print)       Title         Date       G-29-20         Phone       847 825-4404         Email       stephensbe villagesflasemont.org         REVIEW AND APPROVAL BY THE DIS         Reviewed by:         (Local Sewer Systems) or (Profe	Signature Signature Name Eric Chang (Print) Title Manager Date 6/4/2020 Phone 312-969-3580 Email usasiagroup@gmail.com STRICT OR AUTHORIZED MUNICIPALIT Date Date Strict or authorized municipality Date Date Strict or authorized municipality Date Date Strict or authorized municipality Date Date Strict or authorized municipality Date Strict or authorized municipality Date Date Strict or authorized municipality Strict or author authorized municipality Strict or author authorized municipality Strict or author a				

Approved for Issue Approved by:

(For the Director of Engineering) or (Enforcement Officer)

6/17

Date

# **APPENDIX H**

WMO Permit Application 20-172 Plan Set

# SITE IMPROVEMENT PLANS for 6810 MANNHEIM ROAD DEVELOPMENT **VILLAGE OF ROSEMONT COOK COUNTY, ILLINOIS PROJECT NO:8055.04**

# DEVELOPER

HOTEL MANNHEIM CHICAGO, LLC 916 W. 21ST STREET CHICAGO, IL 60608 PH: 978-930-8657 CONTACT: JOHN LI





GENERAL NOTES	
<ol> <li>REFERENCED CODES</li> <li>A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS; ADOPTED APRIL 1, 2016 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO; AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.</li> </ol>	22. GENERAL EXCAVATION/UNDERGROUND NOTES A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES A WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SP/ EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATION BACKFILLING.
B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JANUARY 2014, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT. THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.	B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH A BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINI TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISE REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING
C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.	C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDAT
D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.	AND DISCHARGE LINES AND OTHER DEWATERING SYSTEM ( EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATION ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PRO OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH TEMPORARY DRAINAGE DITCHES
2. UTILITY LOCATIONS A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE	D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNS CONTINUING WORK.
LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. THIS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.	23. FINAL ACCEPTANCE A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FI
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123 AND THE MUNICIPALITY, FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTEY ALL UTILITY COMPANIES AND THE MUNICIPALITY FOUR (24) HOURS ENDOR	SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATER THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN TH OF THE COST OF IMPROVEMENTS.
TO STARTING ANY CONSTRUCTION. C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINED FOR THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINED FOR THE PLANS ACCORDING FO	REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER A ACCEPTED. C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HA
DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.	D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCL STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT
3. UTILITY COORDINATION A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE	24. UNDERGROUND NOTES A. UNDERGROUND WORK SHALL INCLUDE TRENCHING INSTA
NECESSARY TO SECURE THESE PERMITS. B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTIONS DO NOT INTERFERE WITH ITY FOR CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT	OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY N INCIDENTAL TO THE COST OF THE CONTRACT.
SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.	SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSAI SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FO FOOT FOR SYSTEMS WHICH SHALL BE PAYMENT IN FULL FO DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS
C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT&T SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH	MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PA SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT. C. ANY DEWATERING OF SEWER AND WATER TRENCHES AS W REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRAC
OPERATION.     4. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE     WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION. THE CONTRACTOR MUST VERIFY THE ENGINEER'S	UNLESS THERE IS A SPECIFIC LINE ITEM FOR DEWATERING. COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUN SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEEF THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED BOTTOM OF THE PIPE.
LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES FAILING TO SECURE SUICH INSTRUCTION	D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TREN EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWA FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH MATERIAL MEETING DOT CA-6 GRADATION. THE TRENCH B
THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.	(SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NO SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AN PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS IT
5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.	STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH EXTEND 4' ABOVE THE GROUND. THE TOP 12" OF SAID POS" WATERMAIN - BLUE, STORM - GREEN.
6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.	<ul> <li>F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCT AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATION OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM</li> <li>G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROA</li> </ul>
7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.	USED TO DIRECT THE WATER INTO LOT AREAS OR THE STOI SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SA OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WIL
<ol> <li>CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.</li> <li>9. COMMENCING CONSTRUCTION</li> </ol>	FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS RE OF THE PROJECT. (FINAL GRADES TO BE DETERMINED BY T MAY VARY EROM PLAN. GRADE )
A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER	I. SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET ( OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED (
B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.	J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELE BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREP 25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY
10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.	EMPLOYEES ARE AGENTS OF OR REPRESENTATIVES OF THE O ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE AO THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK A SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY U ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COUF
11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.	MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLI FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND IN CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE CONTRACTOR PROVIDES SAFE ACCESS.
12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.	
13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.	
14. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.	
15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.	
16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.	
17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.	
18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05.	
19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.	
<ol> <li>ALL LIMBO, DRAINGRED, AND UTHER DEDRIG RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.</li> <li>ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER</li> </ol>	
SHALL BE PAINTED WITH AN APPROVED TREE PAINT.	



			LEGEND							
		EXISTING	DESCRIPTION	PROF	OSED					
			DRAIN TILE							
		_))_	STORM SEWER	->	<b>—</b> ,—					
			SANITARY SEWER		<u> </u>					
			WATER MAIN (WITH SIZE)	-w	>>					
			PIPE TRENCH BACKFILL							
		GG	GAS MAIN	-6	G					S
			TELEPHONE LINES	- <b>T</b>	<u> </u>					MARK
		—Е———Е— У		—E—	——E—					REI
		x	RIGHT-OF-WAY							
			EASEMENT		·					DAT
			PROPERTY LINE							
			SETBACK LINE							
		000	SANITARY MANHOLE		)					
		Ø	STORM MANHOLE	(						
		Ø	CATCH BASIN							
		Q	PRESSURE CONNECTION							
			PIPE REDUCER		> >					MWRI
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			FLARED END SECTION		1					0NS 3KS
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		▲d	SUNTROL PUINT							19/20 TE
		Г <i>ХХХ.ХХ</i>	SPOT ELEVATION	XXX	• • ××					10/0 DA7
		<b>•</b>	SOIL BORING	\$	,					- <u>0</u>
			OVERLAND FLOW ROUTE							
			DRAINAGE SLOPE	> 0	R — ► —					F
		U						E S		E
			CONCRETE							Σ
			REVERSE PITCH CURB					ž		ОР
		C) ¥. F ()	TREE, FIR TREE, BUSH, &	X	X			AL II		EL
			PROPOSED TREE TO REMOVE	ý ý	X			ER		s <
										<b>D</b>
			ABBREVIATIONS							
М	= STORM MANHO	LE	I = INVERT OR INLET		T/P = T	top of Pipe				AO ⊤, =
S	= SANITARY MAN⊦	IOLE	TF = TOP OF FOUNDATION		B/P =	Bottom of Pipe		S A		<b>R</b>
СВ	= CATCH BASIN		GF = GARAGE FLOOR		WM =	WATERMAIN				ΣĽ
LP	= Light Pole		TC = TOP OF CURB		SAN =	SANITARY SEWER	3	IIĔ		<b>HEI</b>
VV	= VALVE VAULT		TD = TOP OF DEPRESSED C	CURB	STM =	STORM SEWER				Ż
E	= END SECTION		$TW = TOP \; OF \; RETAINING \; W$	ALL	L0 = L	-00K OUT		L S		Z
FH	= Fire Hydrant		BW = BOTTOM OF RETAININ	NG WALL	PL0 =	PARTIAL LOOK O	JT	U A		4 4
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					(847)-6	71-4593 (FAX)				
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- CB = CA
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- VV = VAL
- E = END

	<u>PERMITS</u>		
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IHPA			
IDNR			
NPDES			
MWRDGC	20-172	20-172	





PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: APRIL 16, 2014.

MANNHEIM ROAD DEVELOPMENT ROSEMONT, ILLINOIS 6810 SPACECO INC. FILENAME: 8055.04ET DATE: 06/08/2020 JOB NO. 8055.04 SHEET EΤ 3 OF 17



<u>LEGEND</u>

---- PAVEMENT SAWCUT (FULL DEPTH)

CURB AND GUTTER TO BE REMOVED

UNDERGROUND UTILITY REMOVAL/ABANDON

BUILDING/PAVEMENT REMOVAL

TREE REMOVAL









![](_page_119_Picture_0.jpeg)

![](_page_119_Figure_3.jpeg)

NOTES: 1. SEE SHEET GM1 FOR NOTES AND LEGEND

					NO. DATE REMARKS
					JO. DATE REMARKS
					ź
					ROSEMONT, ILLINOIS
CONSULTING ENGINEERS	SITE DEVELOPMENT ENGINEER	LAND SURVEYORS		9575 W. Higgins Road, Suite 700, Rosemont Illinois 60018	Phone: (847) 696-4060 Fax: (847) 696-4065
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![](_page_120_Figure_0.jpeg)

![](_page_121_Picture_0.jpeg)

APPENDIX H: WMO PERMIT APPLICATION 20-172 PLAN SET PAGE H-8

	NO.   DATE   REMARKS
	NO. DATE REMARKS
GRADING PLAN 2	6810 MANNHEIM ROAD DEVELOPMENT ROSEMONT, ILLINOIS
CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS	LAND SURVEYORS 9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4065 Fax: (847) 696-4065
SPA FILEN/ 8055. DATE: 06/08/ JOB N 8055. SHEET 8	CECO INC. AME: .04GR02 /2020 0. 04 GR2 0F 17

![](_page_121_Figure_3.jpeg)

![](_page_121_Figure_4.jpeg)

**REVISIONS PER MWRD** 

STORM STRUCTURE LEGEND NOTES: ALL STORM SEWERS SHALL BE RCP CL-IV (ASTM C-76) WITH O-RING GASKETED JOINTS (ASTM C-443), UNLESS NOTED OTHERWISE. ✓ STRUCTURE ABBREVIATION ✓ STRUCTURE NUMBER 2. Contract = TRENCH BACKFILL REQUIRED. 3. CONTRACTOR TO COORDINATE ALL EXISTING BUILDING UTILITY SERVICES AND RELOCATIONS WITH THE MEP PLANS BY OTHERS PRIOR TO CONSTRUCTION. A4D.1P ∽ FRAME AND LID TYPE 4. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES └─DIAMETER & SIZE OF STRUCTURE 1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID 1P - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "G" GRATE <sup>L</sup>TYPE OF STRUCTURE CONTRACTOR SHALL PROVIDE WATERTIGHT RESILIENT CONNECTIONS PER ASTM C923 FOR ALL CORED OPENINGS BETWEEN SANITARY AND STORM STRUCTURES AND PIPE. STORM STRUCTURE ABBREVIATIONS I = INLET6. ALL ABANDONED SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM 2" NON-SHRINK CONCREVE/MORTAR PLUG. CB = CATCH BASINM = MANHOLE <u>/1X</u> 7. ALL DIP STORM SEWERS SHALL BE CLASS 52 WITH A TYPE 5 LAYING CONDITION SEE SHEET D1 FOR LAYING DETAIL E = FLARED END SECTIONEXIISTING MH~ R=639.99± l=635.07± NW CONTRACTOR TO -VERIFY LOCATION I=634.85 N I=634.85± SE AND ELEVATION OF EXISTING SANITARY, NOT FIELD VERIFIED CAUTION MWN SANITARY SEWER SHOWN-AS EXISTING PER "ADDITION TO THE SHERATON O'HARE MOTEL" BY SHAYMAN AND SALK ARCHITECTS ENGINEERS, DATED MARCH 1, 1965 MWRD PERMIT NO. 65-287, DATED AUGUST 5, 1965 NOT FIELD VERIFIED <u>}</u> MTERSTATES 641.34 D00R 641.35 D00R 641.36 D00R 641.36 D00R SIL SIL APPROXIMATE LOCATION NE /=629;9/;8"C /=629;55;8"C /=629;55;8"C 

![](_page_122_Figure_2.jpeg)

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				REVISIONS PER MWRD	REMARKS NO. DATE REMARKS
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					ROSEMONT, ILLINOIS
L		S			
	CONSULTING ENGINEERS	SITE DEVELOPMENT ENGINEER	LAND SURVEYORS	9575 W. Higgins Road, Suite 700, Rosemont Illinois 60018	Phone: (847) 696-4060 Fax: (847) 696-4065

SCALE 1" = 30' 30

This Soil Erosion & Sediment Control (SESC) Plan has been prepared to fulfill one of the requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit No. ILR10\_\_\_\_\_\_. The SESC Plan should be maintained on site as an integral component of the Storm Water Pollution Prevention Plan (SWPPP). The SWPPP, including the SESC Plan, should be amended whenever there is a change in design, construction, operation, or maintenance, which has a significant effect on the potential for the discharge of pollutants to the Waters of the State and which has not otherwise been addressed in the SWPPP. The SWPPP, shall also be amanded if it proves to be ineffective in eliminating or significantly minimizing pollutants, or in otherwise achieving the general objectives of controlling pollutants in storm water discharges associated with construction site activity. In addition, the SWPPP shall be amended to identify any new contractor and/or subcontractor that will implement a measure of the SWPPP. 1. SITE DESCRIPTION

- B. The following is a description of the intended sequence of construction activities which will disturb soils for major portions of the construction site:
- Describe proposed construction sequence, sample follows:
- Install perimeter sediment control measures

   Selective vegetation removal for silt fence installation
   Silt fence installation
   Construction fencing around areas not to be disturbed
- d) Stabilized construction entrance2) Clear and grub (as necessary)
- 3) Construct sediment trapping devices (sediment traps, sediment basins, etc.)
  4) Construct detention facilities and outlet control structure with restrictor & temporary
- perforated riser 5) Strip topsoil, stockpile topsoil and grade site
- 6) Temporarily stabilize topsoil stockpiles (seed and silt fence around toe of slope)
  7) Install storm sewer, sanitary sewer, watermain and associated inlet & outlet protection
  8) Permanently stabilize detention basins with seed and erosion control blanket
- 9) Temporarily stabilize all areas including lots that have reached mass grade 10) Install roadways
- 11) Permanently stabilize all outlot areas 12) Install buildings and grade individual lots
- 13) Permanently stabilize lots
  14) Remove all temporary soil erosion and sediment control measures after the site is stabilized with vegetation
  C. The site has a total acreage of approximately <u>8.38</u> acres. Construction activity will disturb
- approximately <u>2.00</u> acres of the site. D. 1) An estimated runoff coefficient of the site after construction activities are completed is <u>0.9</u>
- D. 1) An estimated runoff coefficient of the site after construction activities are completed is <u>0.9</u>.
   2) Existing data describing the soil or quality of any discharge from the site is included in <u>Existing soil borings not contained in this submittal.</u>
- E. Refer to Sheets <u>GR1-GR2</u> for a site plan indicating: 1) drainage patterns;
- 2) approximate slopes anticipated before and after major grading activities;
   3) locations where vehicles enter or exit the site and controls to minimize off-site sediment tracking;
   4) areas of soil disturbance;
   5) the location of major structural and nonstructural controls;
   6) the location of areas where stabilization practices are expected to occur;
- a) The focultation of a eds where stabilization practices are expected to occur;
  a) surface waters (including wetlands); and,
  b) locations where storm water is discharged to a surface water.
- F. 1) The name of the receiving water(s) is(are): <u>Willow Creek.</u>
- 2) The name of the ultimate receiving water is: <u>Des Plaines River.</u>
   3) The extent of wetland acreage at the site is <u>0.0</u> gcres.
- G. Potential sources of pollution associated with this construction activity may include:
- sediment from disturbed soils
  portable sanitary stations
- fuel tanks - staging areas
- waste containers - chemical storage areas
- oil or other petroleum products - adhesives
- tar – solvents
- detergents - fertilizers
- raw materials (e.g., bagged portland cement) - construction debris
- landscape waste
  concrete and concrete trucks
- 2. CONTROLS

- litter

This section of the SESC Plan addresses the various controls that should be implemented for each of the major construction activities described in the "Site Description" section. For each measure identified in the SWPPP, the contractor(s) or subcontractor(s) that will implement the measure should be identified. All contractors and subcontractors that are identified should be required to sign a copy of the certification statement from Part IV.F. of the ILR10 Permit (in accordance with Part VI.G. - Signatory Requirements, of the ILR10 Permit). All signed certification statements should be maintained in the SWPPP.

#### A. Approved State or Local Plans

The management practices, controls and other provisions contained in the SWPPP should be at least as protective as the requirements contained in the Illinois Environmental Protection Agency's (IEPA) and the United States Department of Agriculture's Natural Resource Conservation Service Illinois Urban Manual, 2012. Requirements specified in sediment and erosion control site plans or site permits or storm water management site plans or site permits approved by local officials that are applicable to protecting surface water resources are, upon submittal of a Notice of Intent (NOI) to be authorized to discharge under the ILR10 permit, incorporated by reference and are enforceable under the ILR10 permit even if they are not specifically included in a SWPPP required under the ILR10 permit. This provision does not apply to provisions of master plans, comprehensive plans, non-enforceable guidelines or technical guidance documents that are not identified in a specific plan or permit that is issued for the construction site.

The soil erosion and sediment control measures for this site should meet the requirements of the following agencies: - Municipality (be specific)

- County Agency and/or SWCD (be specific) - IEPA
- U.S. Army Corps of Engineers
- B. Control Implementation Schedule

Best Management Practices will be implemented on an as-needed basis to protect water quality. Perimeter controls of the site should be installed prior to soil disturbance (excluding soil disturbance necessary to install the controls), including demolition activities. Perimeter controls, including the silt fence, should be actively maintained until final stabilization of those portions of the site upward of the perimeter control. Stabilized construction entrance(s) and sediment traps should be installed as described in the intended sequence of construction activities. The contractor is responsible for the adequate protection (including sediment control) of existing sewers and sewer structures during construction operations. As necessary, the appropriate sediment control measure should be installed prior to land disturbing activities.

Stabilization measures should be initiated where construction activities have temporarily or permanently ceased, in accordance with Local and State requirements, as described below. Once construction activity in an area has permanently ceased, that area should be permanently stabilized. Temporary perimeter controls should be removed after final stabilization of those portions of the site upward of the perimeter control. C. Erosion and Sediment Controls

The appropriate soil erosion and sediment controls should be implemented on site and should be modified to reflect the current phase of construction. All temporary sediment and erosion control measures should be repaired or replaced as soon as practicable to maintain NPDES compliance. Permittee or an authorized agent is responsible for inspecting all sediment and erosion control measures at a minimum of every 7 calendar days and within 24 hours, or one working day, of the end of a 0.5-inch (or greater) rain event.

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices should be installed to the Standard Practice. The contractor is responsible for the installation of any additional erosion and sediment control measures necessary to minimize erosion and sedimentation as determined by the Engineer or Primary Contact.

1) Stabilization Practices – Areas that will not be paved or covered with non-erosive material should be stabilized using procedures in substantial conformance with the Illinois Urban Manual. This SESC Plan includes site-specific soil erosion and sediment control measures. Additional erosion controls should be implemented as necessary, as determined by the Engineer or Primary Contact.

The following temporary and permanent stabilization practices, at a minimum, are proposed:

permanent seeding
temporary seeding
erosion control blanket

- other measures

#### Site-specific scheduling of the implementation of these practices is included in the Soil Protection Chart. A record of the dates when major grading activities occur, when construction activities cease on a portion of the site, and when stabilization measures are initiated should be included in the SWPPP.

Stabilization of disturbed areas must be initiated within 1 working day of permanent or temporary cessation of earth activities and shall be completed as soon as possible but not later than 14 days from the initialization of stabilization work in an area. Exceptions to these time frames are specified below.

- a. Where the initiation of stabilization measures is precluded by snow cover, stabilization measures shall be initiated as soon as practicable.
- b. On areas where construction activity has temporarily ceased and will resume after 14 days, a temporary stabilization method can be used. Temporary stabilization techniques and materials shall conform to the SWPPP.
  2) Structural Practices Provided below is a description of structural practices that should be implemented, to the degree attainable to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of
- pollutants from exposed areas of the site. Structural practices should be placed on upland soils to the degree practicable The installation of the following devices may be subject to Section 404 of the Clean Water Act: - stabilized construction entrance
- silt fence
   sediment traps (provide locations and dimensions in plan set)
   other measures

D. Storm Water Management Provided below is a description of measures that will be ins

The installation of these devices may be subject to Section 4 1) The practices selected for implementation were determined in IEPA's Illinois Urban Manual, Federal, State, and/or Local measures include:

the pollutants in storm water discharges that will occur af

- detention basins (wet basins, dry basins, etc.)
   retention basins
   vegetated swales
- infiltration trenches
  other measures

 2) Velocity dissipation devices, such as rip-rap aprons at at discharge locations and along the length of any outfall flow from the structure to a watercourse so that the natura are maintained and protected (e.g., maintenance of hydrolog present prior to the initiation of construction activities)
 E. Waste Management

Solid waste materials including trash, construction debris, items will be collected and disposed of off site by the cor required for such disposal. Burning on site will not be pe shall be discharged to Waters of the State, except as author collected and stored in approved receptacles. No wastes st containers appropriate for the materials being discarded. other containers which may leak. Receptacles with deficier clean-up procedure should take place, if necessary. Constr disposal should comply with all Local, State, and Federal r

On-site hazardous material storage should be minimized and waste. All hazardous waste should be disposed of in the ma manufacturer.

F. Concrete Waste Management

Concrete waste or washout should not be allowed in the stre watercourse. When practicable, a sign should be posted at e practicable, concrete washout areas should be located a rea watercourse, and should be located at least 10 feet behind A stabilized entrance that meets Illinois Urban Manual stan

The containment facilities should be of sufficient volume tincluding enough capacity for anticipated levels of rainwatup and disposed of properly when 66% capacity is reached. used again on site (as approved by the Engineer) or hauled G. Concrete Cutting

Concrete waste management should be implemented to contain not take place during or immediately after a rainfall event concrete cutting should be cleaned-up and disposed into the H. Vehicle Storage and Maintenance

When not in use, construction vehicles should be stored in regulatory floodplain, away from any natural or created wat Controls should be installed to minimize the potential of r drains or water courses. Vehicle maintenance (including bot should be made within a designated area(s) to prevent the m into watercourses, wetlands or storm drains. Drip pans or and equipment maintenance activities that involve grease, or vehicles should be inspected frequently to identify any lec-

and equipment maintenance activities that involve grease, or vehicles should be inspected frequently to identify any lecvehicle should be removed from site. Dispose of all used or chemicals in accordance with United States Environmental Pr regulations and per Material Safety Data Sheet (MSDS) and/or should immediately report spills to the Primary Contact. I. Material Storage and Good Housekeeping

Materials and/or contaminants should be stored in a manner storm drains or watercourses. An on-site area should be de materials kept on site should be stored in their original or roof or other enclosure. Labels should be replaced if damo are an acceptable control measure to prevent contamination referencing clean-up procedures. Any release of chemicals/or disposed of properly. Contractors should immediately repor the appropriate agencies, if needed.

To reduce the risks associated with hazardous materials on a kept in original containers unless they are not re-sealable should be retained on site at all times. Hazardous materia should be stored in accordance with manufacturer or MSDS spi of hazardous materials, follow manufacturer or Local and Sto

The following good housekeeping practices should be followe project: - An effort should be made to store only enough product re

- All materials stored on site should be stored in a neat containers and adequately protected from the environmen
- Products should be kept in their original containers wit
   Substances should not be mixed with one another unless r
- Operations should be observed as necessary to ensure proof on site.
- Whenever possible, all of a product should be used up be
- Manufacturer's recommendations for proper use and dispos
   J. Management of Portable Sanitary Stations

To the extent practicable, portable sanitary stations shou drain to any protected natural areas, Waters of the State, be anchored to the ground to prevent from tipping over. Pr impervious surfaces should be placed on top of a secondary

by a control device (e.g., gravel-bag berm). The contract conditions. Sanitary waste should be disposed of in accord Local regulations. K. Spill Prevention and Clean-Up Procedures

Manufacturer's recommended methods for spill clean-up shou be made aware of the procedures and the location of the in and equipment necessary for spill clean-up should be kept Equipment and materials should include, but are not limiter goggles, kitty litter, sand, sawdust and plastic and/or me

Discharges of a hazardous substance or oil caused by a spil or Waters of the State) are not authorized by the ILR10 per immediately. The construction site should have the capacit occur. Spills should be cleaned up immediately (after disc not be buried on site or washed into storm sewer drainage i

Spills in excess of Federal Reportable Quantities (as estat be reported to the National Response Center by calling (800 Reportable Quantities for materials. Spills of toxic or has or Local government agency, as required. When cleaning up personal protective equipment should be used to minimize in

In addition to the good housekeeping and other management p the following minimum practices should be followed to reduc

- On-site vehicles should be monitored for leaks and shou chance of leakage.
- Petroleum products should be stored in tightly sealed and
   Contractors should follow the manufacturer's recommendation
   Excess materials should be disposed of according to the results and the store of t
- and should not be discharged to the storm sewer or water
- L. De-Watering Operations During de-watering/pumping operations, only uncontaminate

During de-watering/pumping operations, only uncontaminated areas. Waters of the State, or to a storm sewer system (in in a stabilized sump pit or floated at the surface of the w operations may be discharged to a stabilized area that cons filter bag, or both. Adequate erosion controls should be u Stabilized conveyance channels should be installed to direc Additional control measures may be installed at the outlet

## M. Off-Site Vehicle Tracking

The site should have one or more stabilized construction en construction entrance(s) should be installed to help reduce swept as needed to reduce excess sediment, dirt, or stone t top dressing the stabilized entrance with additional stone needed. Vehicles hauling erodible material to and from the N. Topsoil Stockpile Management

If topsoil is to be stockpiled at the site, select a locatic interfere with work on site. Topsoil stockpiles should not designed duffer protocting Waters of the State. During or

designated buffer protecting Waters of the State. During cor should be stabilized or protected with sediment trapping med fence, should be placed around the stockpile immediately. S completed if the stockpile is to remain undisturbed for long

stalled during the construction process to control ter the construction operations have been completed. 404 of the Clean Water Act.	0. Dust Control Dust control should be implemented on site as necessary. Repetitive treatment should be applied as needed to accomplish control when temporary dust control measures are used. A water truck should be present on site (or available) for sprinkling/irrigation to limit the amount of dust leaving the site. Watering should be applied daily (or more frequently) to be effective. Caution should be used not to overwater, as that may cause	STAE TYPE PERM SEED
al Requirements. The storm water management	If field observations indicate that additional protection from wind erosion (in addition to, or in place of watering) is necessary, alternative dust suppressant controls should be implemented at the discretion and approval of the Engineer and/or Primary Contact.	DORN SEED TEMP SEED
flared end sections or level spreaders, shall be placed channel as necessary to provide a non-erosive velocity al, physical, and biological characteristics and functions gic conditions, such as the hydroperiod and hydrodynamics	Street cleaning should also be used as necessary to control dust. Paved areas that have soil on them from the construction site should be cleaned as needed, utilizing a street sweeper or bucket-type endloader or scraper at the direction of the Engineer and/or Primary Contact. 3. MAINTENANCE Maintenance of the controls incorporated into this project should be performed as needed to assure their continued	
, excess construction materials, machinery, tools and other intractor. The contractor is responsible to acquire the permit ermitted. No solid materials, including materials,	effectiveness. This includes prompt and effective repair and/or replacement of deficient control measures. The following is a description of procedures that should be used to maintain, in good and effective operating condition, erosion and sediment control measures and other protective measures identified in the SESC Plan and Standard Specifications. Dust control: When temporary dust control measures are used, repetitive treatment should be applied as needed to accomplish control.	
characteristics and the permit. All waste materials should be should be placed in any location other than in the approved There should be no liquid wastes deposited into dumpsters or encies should be replaced as soon as possible and the appropriate ruction waste material is not to be buried on site. Waste regulations.	Sediment filter bags: Sediment filter bags should be installed on pump outlet hoses that discharge off site or to sensitive on-site areas, and should be placed in an area that allows for the bag to be removed without producing a sediment discharge. The bags should be inspected frequently and repaired or replaced as needed. Silt fence: Silt fences should be inspected regularly for undercutting where the fence meets the ground, overtopping,	
l stored in labeled, separate receptacles from non-hazardous nanner specified by Local or State regulation or by the	and tears along the length of the fence. Deficiencies should be repaired immediately. Remove accumulated sediments from the fence base when the sediment reaches one-half the fence height. During final stabilization, properly dispose of any sediment that has accumulated on the silt fence. Alternative sediment control measures should be considered for areas where silt fence continually fails. Stabilized construction entrance: The stabilized construction entrances should be maintained to prevent tracking of	
eet or allowed to reach a storm water drainage system or each location to identify the washout. To the extent wasonable distance from a storm water drainage inlet or I the curb, if the washout area is adjacent to a paved road. Indards should be installed at each washout area. to completely contain all liquid and concrete waste materials ther. The dried concrete waste material should be picked Hardened concrete can be properly recycled and Loff site to an appropriate landfill	sediment onto public streets. Maintenance includes top dressing with additional stone and removing top layers of stone and sediment. The sediment tracked onto the public right-of-way should be removed immediately. Temporary sediment traps: Temporary sediment traps should be inspected after each period of significant rainfall. Remove sediment and restore the trap to its original dimensions when the sediment has accumulated to one-half the design depth of the permanent pool. Place the sediment that is removed in a designated disposal area. Check the structure for damage from erosion or piping. After all sediment-producing areas have been permanently stabilized, remove the structure and all unstable sediment. Grade the area to blend with the adjoining areas and stabilize properly.	7
and dispose of saw-cutting slurries. Concrete cutting should t. Waste generated from e concrete washout facility as described above.	The Permittee (or their authorized representative) will be responsible for conducting site inspections in compliance with the ILR10 NPDES Permit. After each inspection, a report should be prepared by the qualified personnel who performed the inspection. The inspection report should be maintained on site as part of the SWPPP.	
a designated area(s) outside of the tercourse, pond, drainage-way or storm drain, runoff from the storage area(s) from reaching storm th routine maintenance as well as on-site repairs) migration of mechanical fluids (oil, antifreeze, etc.)	Inspections should be conducted at least once every seven calendar days and within 24 hours or by the end of the following work day, of the end of a storm event that is 0.5 inches or greater, or equivalent snowfall. Inspections may be reduced to once per month when construction activities have ceased due to frozen conditions. Weekly inspections will recommence when construction activities are conducted, or if there is 0.5" or greater rain event, or a discharge due to snowmelt occurs. Each inspection should include the following components:	
absorbent pads should be used for all vehicle oil, solvents, or other vehicle fluids. Construction aks; leaks should be repaired immediately or the oil, antifreeze, solvents and other vehicle-related rotection Agency (USEPA) and IEPA or manufacturer instructions. Contractors	A. Disturbed areas and areas used for the storage of materials that are exposed to precipitation should be inspected for evidence of, or the potential for, pollutants entering the drainage system. The erosion and sediment control measures identified in the SWPPP should be observed to ensure that they have been installed and are operating correctly. Where discharge points are accessible, they should be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to the receiving waters. Locations where vehicles enter or exit the site should be inspected for off-site sediment tracking. All pumping operations and other potential non-storm water discharge sources should also be inspected.	
that minimizes the potential to discharge into esignated for material delivery and storage. All containers with legible labels, and if possible, under a aged or difficult to read. Bermed-off storage areas of storm water. MSDS should be available for contaminants should be immediately cleaned up and	B. Based on the results of the inspection, the description of potential pollutant sources identified, and the pollution prevention measures described in the SWPPP should be revised, as appropriate, as soon as practicable after the inspection. The modifications, if any, shall provide for timely implementation of any changes to the SWPPP within 7 calendar days following the inspection.	
site, hazardous products should be e. The original labels and MSDS als and all other material on site	the inspection, the date(s) of the inspection, major observations relating to the implementation of the SWPPP, and actions taken in accordance with paragraph B, above should be made and retained as part of the SWPPP for at least three years from the date that permit coverage expires or is terminated. The report shall be signed in accordance with Part VI.G. (Signatory Requirements) of the ILR10 NPDES Permit.	
pecifications. When disposing tate recommended methods. ed on site during the construction	epa.swnoncompeillinois.gov, telephone or fax within 24 hours of any incidence of noncompliance for any violation of the storm water pollution prevention plan observed during any inspection conducted or for violation of any condition of this permit. The Permittee should complete and submit within 5 days an "Incidence of Non-Compliance" (ION) report for any violation of the SWPPP observed during an inspection conducted, including those not required by the SWPPP. Submission should be on forms provided by IEPA and include specific information on the cause of non-compliance, actions which were taken to prevent any	
equired to do the job. , orderly manner in their appropriate t. th the original manufacturer's label.	<ul> <li>Further causes of non-compliance, and a statement detailing any environmental impact, which may have resulted from the non-compliance.</li> <li>E. All reports of non-compliance shall be signed by a responsible authority as defined in Part VI.G. (Signatory Requirements). of the ILR10 NPDES Permit.</li> </ul>	
recommended by the manufacturer. oper use and disposal of materials efore disposing of the container.	all reports of non-compliance shall be mailed to IEPA at the following address: Illinois Environmental Protection Agency Division of Water Pollution Control Compliance Assurance Section 1021 North Grand Avenue East	
sal should be followed. Id be located in an area that does not	Post Uttice Box 19276 Springfield, Illinois 62794-9276 5. NON-STORM WATER DISCHARGES	
or storm water structures and should ortable sanitary stations located on containment device, or be surrounded or should not create or allow unsanitary dance with applicable State and/or	<ul> <li>Except for flows from fire fighting activities, possible sources of non-storm water that may be combined with storm water discharges associated with the proposed activity, are described below:</li> <li>Fire fighting activities</li> <li>Fire hydrant flushings</li> </ul>	
ld be available and site personnel should formation and clean-up supplies. Materials in the material storage area on site. d to, brooms, dust pans, mops, rags, gloves,	<ul> <li>Water used to wash vehicles where detergents are not used</li> <li>Water used to control dust</li> <li>Potable water sources including uncontaminated waterline flushings</li> <li>Landscape irrigation drainages</li> <li>Routine external building washdown which does not use detergents</li> <li>Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless spilled materials have been removed) and where detergents have not been used.</li> </ul>	
tal trash containers specifically for this purpose. II (e.g., a spill of oil into a separate storm sewer rmit. If a spill occurs, notify the Primary Contact ty to control, contain, and remove spills, if they covery) in accordance with MSDS and should inlets, drainage-ways, or Waters of the State.	<ul> <li>Uncontaminated air conditioning condensate</li> <li>Springs</li> <li>Irrigation ditches</li> <li>Uncontaminated ground water</li> <li>Foundation or footing drains where flows are not contaminated with process materials such as solvents</li> <li>PROHIBITED NON-STORNWATER DISCHARGES</li> </ul>	
blished under 40 CFR Parts 110, 117, or 302), should 0) 424-8802. MSDS often include information on Federal zardous materials should be reported to the appropriate State a spill, the area should be kept well ventilated and appropriate njury from contact with a hazardous substance.	<ul> <li>Concrete and wastewater from washout of concrete (unless managed by an appropriate control)</li> <li>Drywall compound</li> <li>Wastewater from washout and cleanout of stucco, paint</li> <li>Form release oils</li> <li>Curing compounds and other construction materials</li> </ul>	
practices discussed in the previous sections of these Notes, ce the risk of spills: ld receive regular preventative maintenance to reduce the	<ul> <li>Fuels, oils, or other pollutants used in vehicle or equipment operation and maintenance</li> <li>Soaps, solvents, or detergents</li> <li>Toxic or hazardous substances from a spill or other release</li> <li>Any other pollutant that could cause or tend to cause water pollution</li> <li>Pollution prevention measures should be implemented for non-storm water components of the discharge.</li> </ul>	
nd clearly labeled containers. tions for proper use, storage, and disposal of materials. manufacturer's instructions or State and Local regulations, rbody.		
water should be allowed to discharge to protected natural accordance with Local permits). Inlet hoses should be placed water in order to limit the amount of sediment intake. Pumping sists of an energy dissipating device (e.g., stone), sediment used during de-watering operations as necessary. ct water to the desired location as applicable. area at the discretion of the Primary Contact or Engineer.		
ntrances in conformance with the Plan details. Stabilized e vehicle tracking of sediments. Streets should be tracked from the site. Maintenance may include and removing top layers of stone and sediment, as e construction site should be covered with a tarp.		
ion so that it will not erode, block drainage, or t be located in the 100-year floodplain or onstruction of the project, soil stockpiles easures. Perimeter controls, such as silt Stabilization of the stockpile should be pager than fourteen days		OUTF A NAME NUME

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	B KEN MIXE	LD WITH F LBS/ACRE. TUCKY BLU ED WITH P	EGRASS 13 ERENNIAL	5 LBS/ACR RYEGRASS	E	D WHEA 150 E SOD	AT OR CER LBS/ACRE	EAL RYE							
	45	_BS/ACRE * ]	+ STRAW M	ULCH 2 TO I NEEDED D	NS/ACRE. PURING JUI	F STRA	AW MULCH	2 TONS/AC	RE.						
		** ]	IRRIGATION	i needed f OIL Pf	OR 2 TO 3	3 weeks a TION (	fter appl CHART	_YING SOD							
PF	R W W H S S ROVIDE GRADI CCORDANCE	IGID PERFC RAPPED W ARDWARE ( MALLER T) MALLER T) NG IN	DRATED PVC ITH NON-WO ITH MESH (( CLOTH) STAN HAN OUTLET F	STAND PIF VEN FILTER ND PIPE ON PIPE ON PROVIDE ST	PE FABRIC E OR E SIZE ONE RIP-RA				TR HWL						
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	2. WHEN T AND WH BASIN (	HE DETENT IEN DIRECT DUTFALL S	TION BASIN ED BY THE TRUCTURES	AND UPSTR ENGINEER, SHALL BE	EAM TRIBL THE PERFO CONSTRUC	ITARY DRAI DRATED RIS CTED AND	NAGE AREA SER SHALL THE GRADIN	AS ARE REN BE REMOVING RESTORE	/EGETATED, ED AND THE D IN	Ξ				└└┘┘ ┌╶╸ <sup>╷</sup>	
	I CERTIFY GENERAL NA THAT AUTHO THE CONSTR PROJECT: PERMIT #: CONTRACTOF PRINTED NA NAME OF CO STREET ADD CITY, STA TRADE/ RES	UNDER PEN TIONAL PO DRIZES THE RUCTION SI 5810 MANNI ILR10 - R SIGNATUF AME & TITL DNTRACTINC DRESS TE, ZIP C SPONSIBILI	ALTY OF LA ILLUTANT DI STORM WAT TE IDENTIF HEIM ROAD I RE RE E E E G FIRM	W THAT I L SCHARGE EL ER DISCHAF IED AS PAF DEVELOPMEN	INDERSTAND IMINATION RGES ASSOC RT OF THIS	D THE TERMS	S AND CONE NPDES) PEF H INDUSTRI ATION. TE LEPHONE NU	DITIONS OF MIT (ILR1 IAL ACTIVI	THE 0) TY FROM					SOIL EROSION AND SEDIMENT CONTROL	6810 MANNHEIM ROAD DEVELOPN
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![](_page_125_Figure_1.jpeg)

APPENDIX H: WMO PERMIT APPLICATION 20-172 PLAN SET PAGE H-12

![](_page_126_Figure_0.jpeg)

![](_page_126_Figure_3.jpeg)

EARTHWORK NOTES	PA
<ol> <li>GENERAL</li> <li>A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.</li> </ol>	1. GENERAL A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPAR
THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER. B. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL	BASE COURSE MATERIALS; BITUMINUUS BINDER AND/OR SUR CONCRETE PAVEMENT, CURBS AND WALKS; AND FINAL CLEAN B. COMPACTION REQUIREMENTS: [REFERENCE ASTM D-1557 (MC
QUANTITIES AND APPRAISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.	AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = R THE SOILS ENGINEER IS RESPONSIBLE FOR ENSURING THAT I
C. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.	THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CO INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF AND IN ACCORDANCE WITH THE MUNICIPAL CODE.
D. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM FROSION. SEDIMENTATION AND TRAFFIC	2. SUB-GRADE PREPARATION
<ul> <li>PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION.</li> </ul>	A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL B PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSEL AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE O
F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES". THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC. TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR BEFORE	GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERST RESPONSIBILITY FOR THE SUBGRADE. B. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBG
<ul> <li>GRADING BEGINS. A MUNICIPAL EROSION CONTROL INSPECTION MAY BE REQUIRED BEFORE ANY EARTHWORK IS PERFORMED.</li> <li>G. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A "SNOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURDED.</li> </ul>	UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. THI WITNESS ALL PROOF ROLLS. IF UNSUITABLE SUBGRADE IS EN THE OWNER OR HIS REPRESENTATIVE. THIS MAY INCLUDE ON 1) SCARIFY DISC AND AERATE. 2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL. 3) REMOVE AND REPLACE WITH GRANULAR MATERIAL.
<ul> <li>H. EXCESS MATERIALS, IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.</li> </ul>	4) USE OF GEOTEXTILE FABRIC. MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE MAJORITY OF THE AREA.
I. ALL EARTHWORK SHALL BE DONE UNDER THE SUPERVISION OF AN ILLINOIS LICENSED ENGINEER WHO SPECIALIZES IN THE GEOTECHNICAL FIELD (SOILS ENGINEER). THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PAVEMENT SUBGRADES ARE PROPERLY PREPARED, PROOF ROLLING SUBGRADES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING EMBANKMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.	<ul> <li>C. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AN PAVEMENT AREA SHALL BE FINE GRADED TO WITHIN 0.04 FEE (2) FEET BEYOND THE BACK OF CURB, SO AS TO INSURE THE FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROP</li> <li>D. PRIOR TO PLACEMENT OF THE BASE COURSE, ALL SUBGRADE</li> </ul>
2. TOPSOIL EXCAVATION INCLUDES:     A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT	ENGINEER, SOILS ENGINEER AND/OR OWNER. 3. CONCRETE WORK
<ul> <li>B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE</li> </ul>	A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CON WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MO A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM
LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE. C. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL	(14) DAYS. ALL CONCRETE SHALL BE BROOM FINISHED PERPI OF CALCIUM CHLORIDE AND THE SUBSTITUTION OF FLY ASH F FILLIBRATED, POLYPROPYLENE OLEFIN FIBERS 0.50 TO 0.75 II CONCRETE USED FOR SIDEWALKS. THE FIBERS SHALL BE AS
MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.	<ul> <li>B. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER S CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION TO DETERMINE THE CULTER FLACE THE CAUTERS AND THE ACCOUNTS</li> </ul>
<ul> <li>D. TOPSOIL RESPREAD SHALL INCLODE HADDING AND SPEADING &amp; OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.</li> <li>E. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</li> </ul>	AND GUTTER. PREMOLDED FIBER EXPANSION JOINTS, WITH T BE INSTALLED AT SIXTY (60) FOOT INTERVALS AND AT ALL PC DOWEL BARS SHALL BE GREASED AND FITTED WITH METAL EX JOINTS SHALL BE PROVIDED AT NO GREATER THAN FIFTEEN ( HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPT
3. EARTH EXCAVATION INCLUDES: A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION	C. CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC OTHER LOCATIONS AS DIRECTED, FOR THE PURPOSE OF PRO
SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.	D. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCT COURSE. THE CONCRETE MUST CURE FOR AT LEAST SEVEN
B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.	E. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE A FOOT INTERVALS AND 1/2 " PREMOLDED FIBER EXPANSION JC CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.
STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.	F. CONCRETE DRIVEWAY APRONS SHALL BE IN ACCORDANCE WI 6 WELDED WIRE MESH IN DRIVEWAYS. PROVIDE 1/2 " PREMO ADJACENT TO CURBS AND CONCRETE SIDEWALKS. PROVIDE AND 15 FOOT MAXIMUM.
C. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.	G. STANDARD REINFORCED CONCRETE PAVEMENT SHALL BE IN OR FORMED CONTRACTION EXPANSION JOINTS SHALL BE AS
D. EXCAVATION: QUANTITIES OF EARTH EXCAVATION INDICATED ELSEWHERE IN THIS CONTRACT HAVE BEEN COMPUTED BY THE END AREA METHOD AS PROVIDED FOR IN SECTION 202 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIALS NOT NEEDED FOR THIS JOB SITE SHALL BE LEGALLY DISPOSED OF. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER CUBIC YARD OF EARTH EXCAVATION.	<ul> <li>H. CONCRETE CORING AND PROTECTION SHALL BE IN ACCORDA</li> <li>I. THE COST OF AGGREGATE BASE OR SUB-BASE UNDER CONCR RESPECTIVE CONCRETE ITEM.</li> <li>4. ELEVIELE PAVEMENT</li> </ul>
4. UNSUITABLE MATERIAL	A. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARK
UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.	CONSIST OF AGGREGATE BASE COURSE, TYPE B; BITUMINOUS SURFACE COURSE; OF THE THICKNESS AND MATERIALS SPEC CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN I
A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.	B. ALL TRAFFIC SHALL BE REPT OFF THE COMPLETED AGGREGA AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS S
<ul> <li>B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.</li> </ul>	C. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDE DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASI OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. TH AND MANPOWER NECESSARY, INCLUDING THE USE OF POWER
C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.	THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SC (SSRBC) SECTION 406.02.
D. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR AT LEAST 7 DAYS.	<ul> <li>D. SEAMS IN BASE, BINDER AND SURFACE COURSE SHALL BE ST</li> <li>E. FOR NEW STREETS, THE CONTRACTOR SHALL PERMIT THE BI WEATHER ONE (1) WINTER SEASON DRIOP TO THE INSTALLAT</li> </ul>
E. TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SOILS ENGINEER UNTIL PROPER COMPACTION IS ACHIEVED. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY BE WAIVED IF, IN THE OPINION OF THE SOILS ENGINEER AND THE MUNICIPAL ENGINEER, THE BACKFILLED TRENCHES MEET THE DENSITY REQUIREMENTS. JETTING OF TRENCHES FOR COMPACTION	5. TESTING AND FINAL ACCEPTANCE
6. TESTING AND FINAL ACCEPTANCE	A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TE MATERIALS ESTABLISHED BY THE OWNER AND/OR MUNICIPAL THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CON
A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY MUNICIPAL ENGINEER AND THE OWNER. SEE PAVING SPECIFICATION	REQUIREMENTS OF THE MUNICIPALITY. B. WHEN REQUESTED BY THE OWNER, TEST RESULTS AND DOCU
<ul> <li>B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, OR OTHERWISE CORRECTED, APPROVED BY THE SOILS CONSULTANT.</li> </ul>	C. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURF. THE OWNER OR MUNICIPALITY, SHALL OBTAIN SPECIMENS OF
C. ANY TESTING THAT IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE.	DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION. D. WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, THE CON BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A COR
SIGNING AND PAVEMENT MARKING	PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE AD ART. 407.10. E. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION
1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION	REQUIREMENTS CITED ABOVE.
<ul> <li>(SSRBC), MUNICIPAL CODE AND THESE PLANS.</li> <li>2. CONTRACTOR SHALL ESTABLISH LOCATION OF ALL SIGNS AND MARKINGS FOR APPROVAL BY THE OWNER PRIOR TO INSTALLATION.</li> </ul>	
<ol> <li>SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080 INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE IN ACCORDANCE WITH (SSRBC) SECTION 720. LEGEND SHALL BE IN ACCORDANCE WITH MUTCH AND AS SHOWN ON THE PLANS.</li> </ol>	
<ol> <li>POSTS: SIGN POSTS SHALL BE A HEAVY DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT SUCH AS A TYPE B METAL POST PER (SSRBC) SECTION 729 [OR: 2" PERFORATED STEEL TUBE PER (SSRBC) SECTION 728].</li> <li>SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE ABOVE (SSRBC) SECTIONS AND IDOT</li> </ol>	
<ul> <li>STANDARD 729001 EXCEPT AS MODIFIED BY THE PLANS.</li> <li>6. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE ROADWAY LIMITS, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS AND DIRECTIONAL ARROWS SHALL BE REFLECTORIZED THERMOPLASTIC PER (SSRBC) SECTION 780, EXCEPT AS MODIFIED BY THE PLANS. [NOTE TO ENGINEER: IDOT PREFERS REFLECTORIZED PAINT ON</li> </ul>	
CONCRETE PAVEMENT - CHECK WITH AGENCY WHO WILL MAINTAIN ROAD.] 7. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW WEAR" APPLICATION, SHALL BE PAINT IN ACCORDANCE TO (SSRBC) SECTION 780, EXCEPT AS MODIFIED BY THE PLANS. REFLECTIVE BEADS ARE	
NOT REQUIRED. 8. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH (MUTCD) EXCEPT AS	
<ol> <li>9. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55° F AND RISING.</li> <li>PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50° F AND RISING.</li> </ol>	

# PAVING NOTES

PARATION AND COMPACTION; PLACEMENT OF SUB-BASE OR SURFACE COURSES; FORMING, FINISHING AND CURING .EAN-UP AND ALL RELATED WORK. (MODIFIED PROCTOR)] SUB-GRADE = 93%; SUB-BASE = 93%;

S = REFER TO SSRBC ARTICLE 406.07. HAT MATERIALS ARE PROPERLY PLACED AND COMPACTED. TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND F CONSTRUCTION. ALL SUCH DEVICES AND THEIR . OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION

#### L BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF SELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED EN GRADED WITHIN TOLERANCES ALLOWED IN THESE IE OWNER AND ENGINEER IN WRITING PRIOR TO FINE RSTOOD THAT HE HAS APPROVED AND ACCEPTS THE

IBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR THE SOILS ENGINEER SHALL CONDUCT AND THE VILLAGE SHALL S ENCOUNTERED, IT SHALL BE CORRECTED IN A MANNER APPROVED BY E ONE OR MORE OF THE FOLLOWING METHODS:

BE 1/4" TO 1/2" IF NO DEFLECTION OCCURS OVER THE

A AND THE PLACEMENT OF THE BASE MATERIAL, THE FEET (1/2") OF FINAL SUBGRADE ELEVATION, TO A POINT TWO HE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS OPER SUBGRADE PREPARATION WILL BE HONORED. ADES MUST BE APPROVED BY THE MUNICIPAL

#### ONCRETE CLASS SI OR PV PER (SSRBC) SECTION 1020.04 MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE IMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN RPENDICULAR TO THE DIRECTION OF TRAVEL. THE ADDITION H FOR PORTLAND CEMENT IS PROHIBITED. 1.50 Ibs OF COLLATED,

5 INCHES IN LENGTH SHALL BE ADDED TO EACH CUBIC YARD OF AS MANUFACTURED UNDER THE NAME "FIBERMESH" OR EQUAL. R SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CTION STANDARDS AND THE PAVEMENT CROSS-SECTION

#### GGREGATE BASE COURSE THICKNESS BENEATH THE CURB TH TWO 3/4" X 18" EPOXY COATED STEEL DOWEL BARS, SHALL PC'S, PT'S AND CURB RETURNS. ALTERNATE ENDS OF THE L EXPANSION TUBES. SAWED OR FORMED CONTRACTION EN (15) FOOT INTERVALS BETWEEN EXPANSION JOINTS. NO EPTED.

#### LIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES, AND PROVIDING ACCESSIBILITY. (SEE CONSTRUCTION STANDARDS AT DRIVEWAY LOCATIONS.

JCTION AND PRIOR TO THE PLACEMENT OF THE BASE EN DAYS BEFORE THE CURBS ARE BACKFILLED.

E ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5 I JOINTS AT 50 FOOT INTERVALS, AND ADJACENT TO

#### WITH THE ABOVE AND THE PLANS. PROVIDE 6" X 6" NO. MOLDED FIBER EXPANSION JOINT DE SAWED OR FORMED CONTRACTION JOINT AT MID-POINT

IN ACCORDANCE WITH THE ABOVE AND THE PLANS. SAWED AS SHOWN ON THE PLANS.

DANCE WITH (SSRBC) - METHOD I, II, OR III.

NCRETE WORK SHALL BE INCLUDED IN THE COST OF THE

#### ARKING LOTS, DRIVEWAYS, SIDEWALKS AND PATHS SE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL OUS CONCRETE BINDER COURSE; AND BITUMINOUS CONCRETE PECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE S. THE PAVING IS TO BE DONE IN ACCORD WITH THE STANDARD IN ILLINOIS.

GATE BASE UNTIL THE BINDER COURSE IS LAID. THE T A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR LS SHALL BE BITUMINOUS M.C. - 30. IDER COURSE SHALL BE CLEANED, AND TACK COATED IF

#### ASE OR CURB SHALL BE REPAIRED TO THE SATISFACTION THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT VER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE SE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE SQUARE YARD. TACK COAT SHALL BE AS SPECIFIED IN

E STAGGERED A MINIMUM OF 6". E BITUMINOUS CONCRETE BINDER COURSE TO LATION OF THE BITUMINOUS CONCRETE SURFACE AL ENGINEER OR OWNER.

. TESTING PROGRAM FOR CONCRETE AND PAVEMENT PALITY. TESTING SHALL BE DONE IN ACCORD WITH CONSTRUCTION IN ILLINOIS AND THE TESTING

# OCUMENTATION FOR THE CONCRETE, BASE COURSE, SE, SHALL BE SUBMITTED FOR VERIFICATION.

JRFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY OF THE BINDER COURSE WITH A CORE DRILL WHERE ON.

CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH ORE DRILL WHERE DIRECTED, IN ORDER TO CONFIRM THE ADJUSTED FOR BY THE METHOD DESCRIBED IN (SSRBC),

ION SHALL BE SUBJECT TO THE TESTING AND CHECKING

# 1. GENERAL

## SANITARY SEWER NOTES

A. SANITARY SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 26 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3212 AND PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 21 CONFORMING TO ASTM D-2241 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3139 AS SHOWN ON THE PLANS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF SANITARY SEWER COMPLETE IN PLACE.

B. SANITARY SEWER PIPE 18" AND LARGER, WHERE NOTED ON THE PLANS, OR WHERE THE IEPA MINIMUM SEPARATION CANNOT BE MAINTAINED, SHALL BE ONE OF THE FOLLOWING: PLAN CODE DESCRIPTION

DIP: DUCTILE IRON WATERMAIN QUALITY PIPE, CLASS 52, (ANSI A-21.51) WITH MECHANICAL OR O-RING GASKETED JOINTS (ANSI A-21.11).

PVC: PRESSURE RATED PVC PIPE MEETING ASTM D-2241 WITH ASTM D-3139 GASKETED JOINT, SDR 26

- C. "BAND-SEAL" OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND-SEAL", "FERNCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON ANY SEWER MAIN.
- D. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.
- E. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER.
- F. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY.
- G. WATERMAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION.H. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE EXCEPT UNDER SPECIAL CIRCUMSTANCES AND
- a) PERMISSION SHALL BE OBTAINED FROM THE MUNICIPAL ENGINEERING DEPARTMENT IN WRITING PRIOR TO
- BEGINNING CONSTRUCTION. b) THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18" ABOVE THE TOP OF THE SEWER AND 18" HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.
- 2. BEDDING:
- A. BEDDING SHALL CONSIST OF A MINIMUM OF FOUR (4") INCHES OF COMPACTED CRUSHED GRAVEL OR STONE, 1/4 " -3/4 " IN SIZE. THE SEWER SHALL HAVE MECHANICALLY TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP OF THE PIPE TO A MINIMUM OF TWELVE (12") INCHES FOR PVC PIPE AND TO THE SPRING LINE FOR DIP. THE BEDDING AND COVER MATERIAL SHALL BE ASTM D-2321 CLASS II FOR PVC PIPE AND ASTM D-448 SIZE 67 FOR DIP PIPE. THE COST OF THE BEDDING AND COVER SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER.
- B. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CA-6 CRUSHED GRAVEL OR STONE.
- C. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF FIVE (5') FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6) AND THOROUGHLY MECHANICALLY COMPACTED IN 9" THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS NOT PERMITTED. REFER TO THE TRENCH BACKFILL LIMITS DETAIL.
- 3. MANHOLES:
- A. SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D. PRECAST CONCRETE SECTIONS CONFORMING TO ASTM D-478 WITH PREFORMED BITUMINOUS OR "O" RING JOINTS, IN ACCORDANCE WITH MUNICIPAL REGULATIONS, AND HAVE AN ECCENTRIC CONE INSTALLED TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE AT 16" O.C. SIMILAR TO NEENAH R-1980.
- B. ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT SLEEVES. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.
  4. FRAMES AND LIDS:
- A. ALL SANITARY SEWER MANH
- A. ALL SANITARY SEWER MANHOLE FRAMES AND LIDS SHALL BE NEENAH R-1712 UNLESS OTHERWISE NOTED ON THE PLANS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORDS "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.
- B. A MAXIMUM OF EIGHT (8) INCHES OF CONCRETE ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.
  5. DROP MANHOLE ASSEMBLIES:
- A. DROP MANHOLE ASSEMBLIES: DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS TWO FEET (2'), OR AS SHOWN ON THE PLANS. THE ENTIRE DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE BARREL SECTION.
- 6. CLEANING:
- A. ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.
- 7. TESTING:
- A. DEFLECTION AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE AS SPECIFIED IN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", OR MUNICIPAL CODES. IN THE EVENT OF A DISCREPANCY BETWEEN THE STANDARD SPECIFICATIONS AND THE MUNICIPAL CODE, THE MUNICIPAL CODE SHALL GOVERN. THE FULL LENGTH OF THE SANITARY SEWER IS REQUIRED TO BE BOTH AIR TESTED AND DEFLECTION TESTED.
- B. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH MUNICIPAL CODE.
- C. TESTING OF MANHOLES TO BE IN ACCORDANCE WITH ASTM C-969.
- 8. TELEVISING:
- A. ALL SANITARY SEWERS SHALL BE TELEVISED AND A COPY OF THE TAPE /DVD AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE OWNER OR MUNICIPALITY BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEO TAPES/DVDS.
- 9. TEST RESULTS:
- A. IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS.
- 10. CERTIFICATION:
- A. CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING", ASTM STANDARDS D-2412 OR D-2241 AS APPROPRIATE FOR THE PIPE TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.
- 11. RECORD DRAWINGS:

A. THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWING(S) INCLUDING SERVICE STUB LOCATIONS, TO SPACECO. SPACECO SHALL PREPARE RECORD DRAWINGS AND SUBMIT TO APPROPRIATE PUBLIC AGENCIES. IF FINAL MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATIONS AND OTHERWISE CORRECT THE DEFICIENCIES.

# STORM SEWER NOTES

- 1. GENERAL: A. ALL STORM SEWER PIPE SHALL BE RCP, UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE FOLLOWING:
- PLAN CODE: MATERIAL RCP: REINFORCED CONCRETE PIPE (ASTM C-76) WITH O-RING GASKETED JOINTS, (ASTM C-443); TYPE 1, CLASS IV, PER SSRBC SECTION 603. ELLIPTICAL RCCP PIPE SHALL BE TYPE 1, HE-III PER SSRBC SECTION 511. PRECAST FLARED END SECTIONS MAY HAVE MASTIC JOINTS. PAYMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAR FOOT
- OF STORM SEWER COMPLETE IN PLACE. DIP: DUCTILE IRON WATERMAIN QUALITY PIPE CLASS 52 (ANSI 21.51) WITH MECHANICAL OR PUSH-ON JOINTS (ANSI 21.11). CEMENT LINING IS NOT REQUIRED.
- PVC: POLYVINYL CHLORIDE SEWER PIPE, SDR 26, CONFORMING TO ASTM D-3034 WITH ASTM D-3212 PUSH-ON GASKETED JOINTS. HDPE: HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING AASHTO M-294
- SUCH AS ADS N-12 BY ADVANCED DRAINAGE SYSTEM, COLUMBUS, OH: OR HI-Q BY HANCOR, FINDLEY, OH. JOINTS SHALL BE SPLIT CORRUGATED BANDS BY THE PIPE MANUFACTURER. UD: RIGID, PERFORATED PVC UNDERDRAIN PIPE (ASTM D-2729), SDR 35, OR SCHEDULE 40, WITH
- SOLVENT WELD JOINTS AND FILTER FABRIC WRAPPING OR SOCK. PERFORATED HDPE PIPE ALSO ACCEPTABLE.

(3') FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.

- B. "BAND SEAL" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND SEAL", "FERNCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON SEWER MAINS. CHANGES IN PIPE MATERIAL SHALL BE MADE AT A STRUCTURE.
- C. ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.
  D. ALL FOOTING DRAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND.
- E. THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3') FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES WHICH HAVE LESS THAN THREE

STORM SEWER NOTES		
2. BEDDING:		
A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING, 1/4" TO 3/4" IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL RCP AND DIP PIPE. BEDDING SHALL EXTEND TO 12" OVER ANY PVC OR HDPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPERATE PAYMENT SHALL BE MADE FOR THIS.		
<ol> <li>STRUCTURES:</li> <li>A. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8") INCHES OF ADJUSTING RINGS SHALL BE USED.</li> </ol>		
<ul> <li>B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.</li> <li>C. THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.</li> <li>D. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" CAST ON THE LID. THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.</li> </ul>		REMARKS
<ul> <li>FRENCH DRAIN:</li> <li>A. ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.</li> </ul>		NO. DATE
<ol> <li>CASTINGS:</li> <li>A. CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.</li> </ol>		
<ul><li>6. CLEANING:</li><li>A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.</li></ul>		
<ol> <li>TELEVISING:</li> <li>A. THE STORM SEWER SYSTEM SHALL BE TELEVISED IF REQUIRED BY MUNICIPALITY.</li> </ol>		
WATERMAIN NOTES		
<ol> <li>PIPE MATERIALS:         <ul> <li>WATERMAINS OR SERVICES 3" OR LARGER IN DIAMETER SHALL BE CONSTRUCTED OF BITUMINOUS COATED, CEMENT LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A-21.50 (AWWA C150) AND ANSI A-21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A-21.4 (AWWA C-104). THE JOINTS SHALL BE O-RING GASKETED PUSH-ON OR MECHANICAL JOINTS CONFORMING TO ANSI A-21.11 (AWWA C-111).</li> </ul> </li> </ol>		REMARKS
<ol> <li>FITTINGS:</li> <li>A. ALL FITTINGS SHALL BE CAST-IRON, WITH MECHANICAL JOINTS AND "MEGALUG" RETAINER GLANDS, AND CEMENT LINED PER ANSI A21.4. COST OF FITTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PIPE.</li> <li>B. ALL DUCTILE IRON WATERMAIN AND FITTINGS SHALL BE WRAPPED IN 8-MIL POLYETHYLENE WRAP. ALL MECHANICAL JOINT FITTINGS SHALL USE STAINLESS STEEL NUTS AND BOLTS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF WATERMAIN COMPLETE IN PLACE.</li> </ol>		NO. DATE
3. WATER SERVICES:		F
<ul> <li>A. WATER SERVICE PIPE, 2" IN DIAMETER OR SMALLER, SHALL BE TYPE K COPPER WATER TUBING, CONFORMING TO ASTM B-88 AND B-251, WITH COMPRESSION OR FLARED JOINTS.</li> <li>4. VALVES:</li> <li>A. GATE VALVES SHALL BE USED ON ALL WATERMAIN 3" AND LARGER. ALL VALVES SHALL TURN COUNTER- CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH BRONZE MOUNTED</li> </ul>		OPMEN
<ul> <li>SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509. THE VALVES SHALL HAVE MECHANICAL JOINTS.</li> <li>B. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.</li> <li>5. VALVE VAULTS: <ul> <li>A. VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES AS NOTED ON THE PLANS. THE FRAME AND LID SHALL BE NEENAH R-1712, OR EQUAL, WITH "WATER" EMBOSSED ON THE LID.</li> </ul> </li> </ul>	IONS	D DEVEI LINOIS
<ul> <li>6. FIRE HYDRANTS:</li> <li>A. FIRE HYDRANTS SHALL CONFORM TO AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD NO. C-502, LATEST REVISION, AND SHALL BE A MODEL SHOWN ON THE PLANS AND APPROVED BY THE MUNICIPALITY. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. THE PUMPER CONNECTION SHALL FACE ROADWAY.</li> </ul>	ECIFICAT	IM ROA
B. PROVIDE THE RODS FROM THE MAINLINE TEE TO THE AUXILIARY VALVE, AND BETWEEN THE AUXILIARY VALVE AND HYDRANT BARREL WHERE NOT BOLTED TOGETHER.	S I	HE
<ul><li>C. THE BREAK FLANGE AND ALL BELOW GRADE FITTINGS SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.</li><li>7. CORPORATION STOPS:</li></ul>		Z
<ul> <li>A. CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA C-800, AND SHALL INCLUDE "J" BEND, TAIL PIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS SHOWN ON PLANS.</li> <li>B. TAPPING SADDLES SPECIFICALLY DESIGNED FOR USE WITH PVC PIPE SHALL BE IN CONJUCTION WITH THE CORPORATION STOP.</li> </ul>		0 MA
8. SERVICE BOX:		581
A. PROVIDE CURB VALVE AND CURB BOX AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6') FEET OF BURY.		
B. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.	EERS	
<ul> <li>9. BEDDING:</li> <li>A. ALL DUCTILE IRON WATERMAIN SHALL HAVE COARSE SAND BEDDING EXTENDED TO AT LEAST SIX INCHES (6")</li> <li>ABOVE THE TOP OF THE PIPE COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THIS PIPE NO</li> </ul>	EERS NGIN	te 700, 60018 6-4065
SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM. B. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO 12" OVER THE TOP	NGIN	<b>JRS</b> Id, Sui Illinois 1105
OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION. C. A MINIMUM DEPTH OF COVER OF 5'-6" SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE EIGHT (8') FEET EXCEPT AT SPECIAL CROSSINGS.	JLTING E	<b>SURVEY</b> ( ggins Roa osemont, 0 Fax: (8
D. CONCRETE THRUST BLOCKING SHALL BE INSTALLED ON WATERMAIN AT ALL BENDS, TEE, ELBOWS, ETC.	CONSU	AND 8 W. Hig R. B6-406
A. HORIZONTAL SEPARATION		9575 947) 69
<ul> <li>a) WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICES CONNECTION.</li> <li>b) WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN: <ol> <li>LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;</li> <li>THE WATERMAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND</li> <li>THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.</li> </ol> </li> </ul>		Phone: (
<ul> <li>c) BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION WHEN IT IS IMPOSSIBLE TO MEET (a) OR (b) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.</li> <li>B. VERTICAL SEPARATION</li> <li>a) A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE ODOWN OF THE DRAIN OD SEWED.</li> </ul>		
<ul> <li>a) A WATERMAIN SHALL BE LAID SO THAT ITS INVERTIST INCRESIABOVE THE CROWN OF THE DRAIN OF SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANCE FROM THE SEWER OR DRAIN.</li> <li>b) BOTH THE WATERMAINS AND SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION WHEN:</li> </ul>	<b>SPA</b>	<b>CECO INC.</b> Ame:
<ol> <li>IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (a) ABOVE; OR</li> <li>THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.</li> <li>A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN</li> <li>OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER SEWER SUPPORT THE</li> </ol>	8055	.04SPEC01
<ul> <li>Sever or drain lines to prevent settling and breaking the water main.</li> <li>d) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FORM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.</li> <li>11 TESTING:</li> </ul>	06/08/	/2020
A. ALL WATERMAINS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH AWWA AND MUNICIPAL	8055.0	04
IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN. B. CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AGAINST EXISTING WATER VALVES.	SHEET	<b>SP1</b>

ALL SANITARY SEWER CONSTRUCTION (AI REQUIRES STONE BEDDING WITH STONE 2-INCH TO 24-INCH DOUBLE WALL 3. ALL SANITARY SEWER CONSTRUCTION (AI REQUIRES STONE BEDDING WITH STONE 3. ALL SANITARY SEWER CONSTRUCTION (AI REQUIRES TO POLYE THE WALL 3. ALL SANITARY SEWER CONSTRUCTION (AI REQUIRES TO POLYE THE WALL 3. ALL SANITARY SEWER CONSTRUCTION (AI REQUIRES TO POLYE THE SE THAN EIGHT (8) INCHES. MATERIAL SHALL	ASTM C-700 ASTM C-76 ASTM A-74 ANSI A21.51 ASTM D-3034 ASTM D-3035 ASTM D-3350 ASTM D-3350 ASTM D-2241 AWWA C900 AWWA C905 ON A QUALIFIED BASIS PECIAL CONDITION W WER CONSTRUCTION OF PE SPECIFICATIONS ASTM F-2736 ASTM F-2764
CAST IRON SOIL PIPE CAST IRON SOIL PIPE POLYVINYL CHLORIDE (PVC) PIPE 5-INCH TO 15-INCH DIAMETER SDR 26 18-INCH TO 27-INCH DIAMETER F/DY=46 HIGH DENSITY POLYETHYLENE (HDPE) WATER MAIN QUALITY PVC 4-INCH TO 36-INCH 4-INCH TO 36-INCH 14-INCH TO 12-INCH 14-INCH TO 48-INCH THE FOLLOWING MATERIALS ARE ALLOWED O PPROVAL PRIOR TO PERMIT ISSUANCE. A S THE PIPE MATERIAL BELOW IS USED FOR SEV IPE MATERIAL DIVPROPYLENE (PP) PIPE 2-INCH TO 24-INCH DOUBLE WALL 0-INCH TO 60-INCH TRIPLE WALL 3. ALL SANITARY SEWER CONSTRUCTION (AI REQUIRES STONE BEDDING WITH STONE TO ¼ THE OUTSIDE DIAMETER OF THE SE THAN EIGHT (8) INCHES. MATERIAL SHALL ADDY THE TO DO CHURCH WALL SHALL	ASTM A-74 ANSI A21.51 ASTM D-3034 ASTM D-3035 ASTM D-3350 ASTM D-3035 ASTM D-2241 AWWA C900 AWWA C905 ON A QUALIFIED BASIS PECIAL CONDITION W WER CONSTRUCTION OF PE SPECIFICATIONS ASTM F-2736 ASTM F-2764
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14-INCH TO 12 INCH         14-INCH TO 48-INCH         14-INCH TO 48-INCH         19 PROVAL PRIOR TO PERMIT ISSUANCE. A S         14 PIPE MATERIAL BELOW IS USED FOR SEV         19 MATERIAL         19 MATERIAL         19 OLYPROPYLENE (PP) PIPE         2-INCH TO 24-INCH DOUBLE WALL         0-INCH TO 60-INCH TRIPLE WALL         8. ALL SANITARY SEWER CONSTRUCTION (AIR REQUIRES STONE BEDDING WITH STONE TO 1/4 THE OUTSIDE DIAMETER OF THE SE THAN EIGHT (8) INCHES. MATERIAL SHALL	AWWA C905 ON A QUALIFIED BASIS SPECIAL CONDITION W WER CONSTRUCTION OF PE SPECIFICATIONS ASTM F-2736 ASTM F-2764
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. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SI OF DISSIMILAR PIPE MATERIALS.	HALL BE USED IN THE
0. ALL MANHOLES SHALL BE PROVIDED WIT CONSTRUCTED WITH A CONCEALED PICK CAST INTO THE LID.	"H BOLTED, WATERTIG "HOLE AND WATERTIG
1. WHEN CONNECTING TO AN EXISTING SEV	WER MAIN BY MEANS (
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A WYE OR TEE BRANCH SECTION. c) WITH PIPE CUTTER, NEATLY AND AC	
2. WHENEVER A SANITARY/COMBINED SEW	ER CROSSES UNDER A
DISTANCE FROM THE TOP OF THE SEWER FURTHERMORE, A MINIMUM HORIZONTAL SEWERS AND WATERMAINS SHALL BE MA TRENCH, KEEPING A MINIMUM 18" VERTI TRENCH WITH THE WATERMAIN LOCATEL EARTH, KEEPING A MINIMUM 18" VERTIC DISTANCES DESCRIBED CANNOT BE MAIN THE SEWER SHALL BE CONSTRUCTED TO	₹ TO THE BOTTOM OF L DISTANCE OF 10 FEE INTAINED UNLESS: TH CAL SEPARATION; OR D AT THE OPPOSITE SI AL SEPARATION. IF EI NTAINED, OR THE SEW WATER MAIN STANDA
WATER MAIN QUALITY CARRIER PIPE WI	TH THE ENDS SEALED.
3. ALL EXISTING SEPTIC SYSTEMS SHALL BE GRANULAR MATERIAL OR REMOVED.	ABANDONED. ABAND
4. ALL SANITARY MANHOLES, (AND STORM MINIMUM INSIDE DIAMETER OF 48 INCHI CONCRETE.	ES, AND SHALL BE CAS
5. ALL SANITARY MANHOLES, (AND STORM PRECAST "RUBBER BOOTS" THAT CONFOI SECTIONS SHALL CONSIST OF MODIFIED	MANHOLES IN COMBIN RM TO ASTM C-923 FO GROOVE TONGUE ANI
6. ALL ABANDONED SANITARY SEWERS SHA NON-SHRINK CONCRETE OR MORTAR PLL	.LL BE PLUGGED AT BC JG.
7. EXCEPT FOR FOUNDATION/FOOTING DRA	AINS PROVIDED TO PRAIN THE
PIPES ARE NOT ALLOWED TO BE CONNECT SEWERS, OR STORM SEWERS TRIBUTARY CONSTRUCTION OF NEW FACILITIES OF PERFORATED PIPES ENCOUNTERED WITH SHALL NOT BE CONNECTED TO COMBINE TO COMBINED SEWERS.	TED TO OR TRIBUTAR TO COMBINED SEWE THIS TYPE IS PROHIBI IN THE PROJECT ARE D SEWERS, SANITARY
8. A BACKFLOW PREVENTER IS REQUIRED F REQUIRED BACKFLOW PREVENTERS SHAL OWNER TO ENSURE PROPER OPERATION, ENSURE FUNCTIONALITY. IN THE EVENT TRIBUTARY TO COMBINED SEWERS. THE	OR ALL DETENTION B L BE INSPECTED AND , AND ANY NECESSARY OF A SEWER SURCHAF PERMITTEE SHALL EN
.1 2 .2 .4 .5 .6	<ul> <li>CAST INTO THE LID.</li> <li>WHEN CONNECTING TO AN EXISTING SEV AN EXISTING MANHOLE, ONE OF THE FO</li> <li>a) A CIRCULAR SAW-CUT OF SEWER MA AND PROPER INSTALLATION OF HUB</li> <li>b) REMOVE AN ENTIRE SECTION OF PIF A WYE OR TEE BRANCH SECTION.</li> <li>c) WITH PIPE CUTTER, NEATLY AND AC OF PROPER FITTING, USING "BAND S</li> <li>2. WHENEVER A SANITARY/COMBINED SEWED DISTANCE FROM THE TOP OF THE SEWEF FURTHERMORE, A MINIMUM HORIZONTAL SEWERS AND WATERMAINS SHALL BE MA TRENCH, KEEPING A MINIMUM 18" VERTI TRENCH WITH THE WATERMAIN LOCATEL EARTH, KEEPING A MINIMUM 18" VERTIC DISTANCES DESCRIBED CANNOT BE MAIN THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN QUALITY CARRIER PIPE WI'</li> <li>3. ALL EXISTING SEPTIC SYSTEMS SHALL BE GRANULAR MATERIAL OR REMOVED.</li> <li>4. ALL SANITARY MANHOLES, (AND STORM MINIMUM INSIDE DIAMETER OF 48 INCHICONCRETE.</li> <li>5. ALL SANITARY MANHOLES, (AND STORM PRECAST "RUBBER BOOTS" THAT CONFOI SECTIONS SHALL CONSIST OF MODIFIED</li> <li>5. ALL ABANDONED SANITARY SEWERS SHA NON-SHRINK CONCRETE OR MORTAR PLL</li> <li>7. EXCEPT FOR FOUNDATION/FOOTING DRA ASSOCIATED WITH VOLUME CONTROL FA PIPES ARE NOT ALLOWED TO BE CONNEC SEWERS, OR STORM SEWERS TRIBUTARY CONSTRUCTION OF NEW FACILITIES OF " PERFORATED PIPES ENCOUNTERED WITH SHALL NOT BE CONNECTED TO COMBINE TO COMBINED SEWERS.</li> <li>3. A BACKFLOW PREVENTER IS REQUIRED F REQUIRED BACKFLOW PREVENTERS SHALL OWNER TO ENSURE PROPER OPERATION ENSURE FUNCTIONALITY. IN THE EVENT TRIBUTARY TO COMBINED SEWERS, THE SEWAGE TAKES PLACE WITHIN 48 HOURS</li> </ul>

PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
ASTM C-700	ASTM C-425
ASTM C-76	ASTM C-443
ASTM A-74	ASTM C-564
ANSI A21.51	ANSI A21.11
ASTM D-3034 ASTM F-679	ASTM D-3212 ASTM D-3212
ASTM D-3350 ASTM D-3035	ASTM D-3261,F-2620 (HEAT FUSION) ASTM D-3212,F-477 (GASKETED)
ASTM D-2241	ASTM D-3139
AWWA C900 AWWA C905	ASTM D-3139 ASTM D-3139
ON A QUALIFIED BASIS SU	BJECT TO DISTRICT REVIEW AND
WER CONSTRUCTION OR A	CONNECTION IS MADE.

TERIAL BELOW IS USED FOR SE

JOINT SPECIFICATIONS PIPE SPECIFICATIONS

D-3212, F-477 D3212, F-477

FARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), S STONE BEDDING WITH STONE 1/4 " TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL E OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE HT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" E TOP OF THE PIPE WHEN USING PVC.

AR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES

HOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE JCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY"

DNNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR TING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED: RCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SHEWER-TAP" MACHINE OR SIMILAR) PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE. IOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH

H PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.

ER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL E FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. RMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED (EEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL ES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, ER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A

TING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH

TARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A I INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRÉ-CAST REINFORCED

TARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.

NDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG RINK CONCRETE OR MORTAR PLUG.

FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES TED WITH VOLUME CONTROL FACILITIES. DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. ICTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND TED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND DT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY

LOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. D BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN RY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

- 1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- 2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- 3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM: a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE. b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- 6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- 7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- 8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- 9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- 10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- 12. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- 13. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- 14. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- 15. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS. 16. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL
- BLANKET. 17. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- 18. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- 19. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION, DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- 20. THE CONTRCTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES. AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFÉCTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DIŚCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- 21. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- 22. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- 23. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- 24. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITÉ INSPECTOR, OR MWRD.

# TECHNICAL GUIDANCE MANUAL

# MWRD GENERAL NOTES

				T, ILLINOIS NO. DATE REMARKS NO. DATE REMARKS
	SITE DEVELOPMENT ENGINEERS	LAND SURVEYORS	9575 W. Higgins Road, Suite 700, <b>Mannelly Ko</b> Resement Illinois 60018	(847) 696-4060 Fax: (847) 696-4065
				Phone: (8

Ø7/12/2Ø16	
STD. DWG. NO.18	S
PAGE NO. 19	F 8
	D 0

![](_page_129_Figure_0.jpeg)

![](_page_130_Figure_0.jpeg)

<u>LEGEND</u> DISTURBED AREA

SUMMARY: TOTAL PARCEL AREA = 365,904 S.F. (8.38 AC.) DISTURBED AREA 1 = 43,602 S.F. DISTURBED AREA 2 = 43,158 S.F. TOTAL DISTURBED AREA = 86,760 S.F. (2.00 AC)

![](_page_130_Figure_5.jpeg)

![](_page_130_Figure_6.jpeg)

# **APPENDIX I**

WMO Permit Application 20-172 Stormwater Report

![](_page_132_Picture_0.jpeg)

# FINAL STORMWATER MANAGEMENT REPORT FOR 6810 MANNHEIM ROAD DEVELOPMENT ROSEMONT, IL

![](_page_132_Picture_2.jpeg)

Prepared For: HOTEL MANNHEIM CHICAGO, LLC

Prepared By: SPACECO, Inc. 9575 W. Higgins Road, Suite 700 Rosemont, IL 60018 PH: 847-696-4060 Contact: Brett Duffy, P.E.

SPACECO PROJ #:8055.04ORIGINAL DATE:June 2020LAST REVISED:October 2020

#### TABLE OF CONTENTS

- TAB DESCRIPTION
- 1 <u>General Stormwater Information</u> Stormwater Submittal Requirements Checklist Maps, Exhibit, and Plan Sheet Checklist Project Narrative & Calculations Summary
- 2 <u>Exhibits</u>
  - 1 LOCATION MAP SANITARY/STORM
  - 2 USGS MAP
  - 3 NRCS SOILS MAP
  - 4 FEMA FIRM MAP
  - 5 MWRD-DEPRESSIONAL AREA MAP
  - 6 NATIONAL WETLAND INVENTORY MAP
  - 7 AERIAL PHOTO EXHIBIT
  - 8 ALTA
  - 9 EXISTING DRAINAGE PLAN
  - 10 PROPOSED DRAINAGE PLAN
  - 11 ENGINEERING PLANS TITLE SHEET

#### 3 <u>Site Runoff Requirements</u>

Existing Conditions Input Parameters (TC, CN, etc.) Proposed Conditions Input Parameters (TC, CN, etc.) Storm Sewer Calculations

#### 4 <u>Site Volume Control Requirements</u> (Not applicable - no volume control area)

- 5 <u>Site Detention Requirements</u> (Not applicable - no proposed detention)
- 6 <u>Soil Erosion and Sediment Control Requirements</u> Narrative Description Schedule P
- 7 <u>Floodplain Requirements</u> (Not applicable - no floodplain area)
- 8 <u>Wetland/Buffer Requirements</u> (Not applicable - no wetland/buffer area)
- 9 <u>Riparian Requirements</u> (Not applicable - no riparian area)
- 10 Maintenance & Monitoring Submittals

# **TAB 1**

### STORMWATER MANAGEMENT PERMIT APPLICATION FOR 6810 MANNHEIM RD DEVELOPMENT VILLAGE OF ROSEMONT, COOK COUNTY, IL

PREPARED FOR HOTEL MANNHEIM CHICAGO, LLC

#### PREPARED BY SPACECO, INC. 9575 W. HIGGINS ROAD, SUITE 700 ROSEMONT, IL 60018

#### SPACECO PROJECT # 8055.04

![](_page_134_Picture_5.jpeg)

					r
Applicant Check if Provided	Check if Required	Reviewer Check if Provided	Status	Floodplain Submittal Requirements	WMO Reference
				Review Fee = \$	
				Deposits = \$	
General Sto	ormwater Ir	nformation			
~				Maps, exhibits, and plan sheet(s) specified under the Maps, Exhibit, and Plan Sheets Submittal Checklist	§304.1, §308.5
~				Narrative description of proposed development within the limts of the regulatory floodplain and floodway	§304.2, 304.4
Regulatory	r Floodplain	Requirement	ts	income,	
				Completed Schedule H	
				Regulatory floodplain determination:	§304.2, §601.4, §602.1
~				Effective Flood Insurance Rate Map (FIRM) with project boundary shown	§308.5, §601.3
~				Flood Insurace Study (FIS) profile with project boundary shown	§308.5, §601.3
				Letter of Map Change (LOMC) (if applicable)	§308.5, §601.3
~				Hydrologic and hydraulic study information for project-specific floodplain studies, Zone A floodplain determinations and FIRM revisions	§304.10(A), §601.6
~				Calculations used in hydrologic and hydraulic modeling	§304.1(C), §601.6
~				Hydrologic and hydraulic model input/output	§304.10(D), §601.6
				CD-ROM with hydrologic and hydraulic model input/output	§304.10(D), §601.6
~				Plan view drawing of all cross-sections utilized in hydraulic computer model	§304.1(E)
~				Tabular summary of 2-, 10- and 100-year flood elevations and discharges for the	§304.10(B)
				Floodplain fill and compensatory storage calculations:	§304.7, §602.10, §602.11
				Plan view drawing locating all cross-sections used in calculations	§304.7(B)
				Tabular summary of floodplain fill and compensatory storage values for the 0-10 year and 10-	§304.7(C)
				Floodplain fill and compensatory storage ratios for 0-10 year, 10-100 year, and 0-100 year increments	§304.7(C)
				LOMC applications, including hydrologic and hydraulic calcuations and modeling input/output	§304.8
Regulatory	Floodway I	Requirement	5		
				Letter from OWR authorizing development under Statewide or General Permit (if applicable)	§304.11(A)
				OWR Floodway Contruction Permit correspondence	§304.11(B)
				FIS Floodway Data Tables	§304.9
				Floodway hydrologic and hydraulic analyses for the following conditions:	§301.10
~				Existing conditions land use and stream system	§304.10(A), §602.28
~				Proposed conditions land use and stream system	§304.10(A), §602.28
				Tabular summary of existing and proposed flows, flood elevations, and floodway velocities for the 2-10- and 100-year storm events	§304.10(B)
				Hydrologic and hydraulic model input/output	§304.10(D)
				Plan view drawing of all cross-sections utilized in hydraulic computer model	§304.10(E)
				Floodway fill and compensatory storage calculations:	§304.7, §602.10, §602.11
				Plan view drawing locating all cross-sections used in floodway compensatory storage calculations	§304.7(B)
				Tabular summary of floodway fill and compensatory storage values for the 0-10 year and 10-	§304.7(C)
				Floodway fill and compensatory storage ratios for 0-10 year, 10-100 year, and 0-100 year increments	§304.7(C)
				LOMC applications, including hydrologic and hydraulic calcuations and modeling input/output	§304.8, 602.15
Flood Prote	ection Requ	irements			
				Determination of Flood Protection Elevation (FPE) for all proposed buildings	§304.3, §502.14
				Determination of whether development constitues a substantial improvement	§602.4
				Narrative discussion and details of floodproofing measures	§304.6, §602.4
	1				1

Applicant	ant Reviewer			ewer	
Check if Provided	Check if Required	Check if Provided	Status	Maintenance and Monitoring Submittal Requirements	WMO Reference
				Review Fee = \$	
				Deposits = \$	
Soil Erosio	n and Sedin	ent Control			
~				A schedule of implementation of the erosion and sediment control plan including:	§310.1, §900.1(A)
~				A statement that installation of erosion and sediment control practices will occur prior to any soil disturbance	§310.1(A)
~				A schedule for construction activities, including stabilized construction entrance installation, sediment trapping facility installation, site clearing, stockpiling, grading, construction waste disposal, temporary and permanent stabilization, and removal of temporary erosion and sediment control practices	§310.1(B)
~				A schedule for inspection, reporting, and maintenance of all erosion and sediment control practices	§310.1(C)
~				Contact information for the party responsible for implementation and maintenance of the site soil erosion and sediment control plan	§310.1(D)
Stormwate	er Facilities				§310.2, §900.1(B), §900.1(C)
~				A scheduled perpetual maintenance program for stormwater facilities including, but not limited to:	§310.2(A)
~				Planned maintenance tasks and frequency of each task such as removal of sediment, debris, mowing and pruning of vegetation, and restoration of eroded areas	§310.2(B)
~				Identification of the responsible parties for performing the maintenance tasks	§310.2(C)
~				A description of applicable temporary and permanent access and maintenance easements granted or dedicated to, and accepted by, a governmental entity	§310.2(D)
Qualified S	ewer Const	ruction			
				A scheduled perpetual maintenance program for qualified sewer construction including, but not limited to:	§310.3, §900.1(F), §901
				Planned maintenance tasks and frequency of each task for the removal of objectionable wastes, fats, oils and grease, or any other wastes collected in private pre-treatment or separator structures	§310.3(A)
				Planned routine maintenance for all private lift station and pumping facilities	§310.3(B)
				Operation maintenance agreements for all private service sewers providing service to multiple owners	§310.3(C)
				Identification of the responsible parties for performing the maintenance tasks	§310.3(D)
				A description of applicable temporary and permanent access and maintenance easements granted or dedicated to, and accepted by, a governmental entity	§310.3(E)

Applicant	t Reviewer				
Check if	Check if	Check if	Status	Maintenance and Monitoring Submittal Requirements	WMO Reference
Provided	Required	Provided	<u> </u>		
Wetland M					
				If wetland mitigation is required, a wetland mitigation document shall be developed, which includes the following:	§310.4, §900.1(G)
				Proposed wetland hydrology and an inundation and duration analysis	§310.4(A)
				Proposed soils and soil management activities	§310.4(B)
				Proposed planting zones, species, quantities, sizes, locations, specifications, methodologies, and details	§310.4(C)
				Proposed maintenance and monitoring plan with maintenance activities and performance criteria outlined	§310.4(D)
				Schedule of earthwork, planting, monitoring, and maintenance	§310.4(E)
				A plan for the continued management, operation, and maintenance of the wetland mitigation measures including the designation of funding sources and the person responsible for long-term operation and maintenance	§310.4(F)
				A description of applicable temporary and permanent access and maintenance and conservation easements granted or dedicated to and accepted by a governmental entity; and	§310.4(G)
Riparian Er	nvironment	Mitigation			
				If riparian mitigation is required, a riparian environment mitigation document shall be developed, which includes the following:	§310.5, §900.1(H)
				The proposed methods which will allow naturalizing to occur, such as meandering, pools, or riffles for relocated channels. Methods proposed are expected to be able to withstand all events up to the base flood without increased erosion	§310.5(A)
				The methods by which the normal flow within the channel will be diverted to construct the new or relocated channel	§310.5(B)
				The erosion and sediment control practices to be utilized to minimize and control sediment and degradation of downstream water quality	§310.5(C)
				The appropriate hydrologic and hydraulic methods analyzing the impacts on flood flows and flood elevations (to be provided in the floodplain and floodway submittal) meeting all other requirements in the Ordinance, including the floodplain/floodway requirements outlined in §601 and §602 of this Ordinance	§310.5(D)
				Proposed planting zones, species, quantities, sizes, locations, specifications, methodologies, and details	§310.5(E)
				Proposed maintenance and monitoring plan with maintenance activities and performance criteria outlined	§310.5(F)
				Scheduling of earthwork, planting, maintenance, and monitoring	§310.5(G)
				A plan for the continued management, operation, and maintenance of the riparian environment mitigation measures, including the designation of funding sources and the person responsible for long-term operation and maintenance	§310.5(H)
				A description of applicable temporary and permanent access and maintenance and conservation easements granted or dedicated to, and accepted by, a governmental entity	§310.5(I)

Applicant	nt Reviewer				
Check if Provided	Check if Required	Check if Provided	Status	Maps, Exhibits and Plan Sheets Submittal Requirements	WMO Reference
Stormwate					
~				Existing conditions plan sheet(s)	308.5(A)
~				Utility and geometry plan sheet(s)	308.5(B)
~				Grading plan sheet(s)	308.5(C)
Qualified S	ewer Const	ruction Plan	Sheets		
				Utility plan sheet(s)	§308.6(A)
				The plan and profile for public qualified sewer main construction	§308.6(B)
				The lift station plan, profile, and schematic	§308.6(C)
Wetland/B	Suffer Plan S	Sheets			
				In plan view, the location of wetland and wetland buffer on or within 100 feet of the site, based upon a survey of the wetland delineation	§308.7(A)
				Acreage of proposed impact to wetland or wetland buffer	§308.7(B)
				A proposed wetland mitigation plan, if wetland or wetland buffer impacts are proposed	§308.7(C)
Riparian Er	nvironment	Plan Sheets			
				Location of riparian environments located on site, based upon a survey of the Ordinary High Water Mark (OHWM) of the channel or stream and associated riparian environment, in plan view	§308.8(A)
				Acreage and area of proposed impact to riparian environments	§308.8(B)
				Proposed riparian environment mitigation plan, if riparian mitigation is required	§308.8(C)
Recording	Plan Sheets	;			
				Location of all existing and proposed detention facilities to meet District stormwater storage requirements and to ensure they are permanently sustained and adequately maintained by future parcel owners	§308.9(A)
				Location of any offsite, trade-off detention facilities to meet District stormwater storage requirements not located on the parcel and to ensure they are linked to the permitted parcel development and permanently sustained and adequately maintained by future/alternate parcel owners	§308.9(B)
				Location of all existing and proposed volume control practices to meet District volume control requirements and to ensure they are permanently sustained and adequately maintained by future parcel owners	§308.9(C)
				Entire parcel area for phased development providing notice of stormwater detention storage requirements for undeveloped portions of a parcel now developed in part under the WMO	§308.9(D)
				A sewer utility plan for parcels outside of a municipality delineating any qualified sewer construction to be maintained by the co-permittee in the event that the Township or County is unwilling or unable to do so	§308.9(E)
				Location of all wetland and riparian mitigation areas provided to meet District mitigation requirements and to ensure they are permanently sustained and adequately maintained by future parcel owners	§308.9(F)
				Location of all native or natural planting areas to ensure they are permanently sustained and remain as native or natural planting areas by future parcel owners	§308.9(G)
				Location of all qualified sewer construction for parcels in unincorporated areas, to ensure sewer systems are permanently sustained and adequately maintained by future parcel owners in the event the permittee (township or other non municipal entity) is unable to do so	§308.9(H)

Applicant	nt Reviewer				
Check if	Check if	Check if	Status	Erosion and Sediment Control Submittal Requirements	WMO Reference
Provided	Required	Provided			
				Review Fee = \$	
				Deposits = \$	
Erosion and	d Sediment	<b>Control Req</b>	uirements		
				Maps, exhibits, and plan sheet(s) specified under the Maps, Exhibit, and Plan Sheets Submittal Checklist	§308.4
				Completed Schedule P	
				An erosion and sediment control plan that describes all measures appropriate for the development. This plan shall include the following:	§302.2
				A narrative description of the existing land cover, hydrologic conditions of the proposed development, and areas adjacent to the development including a description of any flood protection areas, site discharge location(s), points of discharge to Jurisdictional Waters of the U.S., and soil survey data	§302.2.A
				The NPDES ILR-10 permit number issued by IEPA to the co-permittee upon submittal of the ILR-10 Notice of Intent permit application or permit	§302.2.B
				A narrative description of the proposed temporary erosion and sediment control practices, including a narrative describing how flood protection areas will be protected from erosion and sedimentation	§302.2.C
				A schedule of construction activities including, but not limited to, clearing and grading, installation of stabilized construction entrances, disposal of construction waste, stockpiling, and inspection and maintenance of all erosion and sediment control practices	§302.2.D
				A narrative describing how flood protection areas will be protected from erosion and sedimentation	§302.2.E
				Data and calculations used to size, locate, design, and maintain all erosion and sediment control practices, and the design of temporary stream crossings	§302.2.F
				A mechanism for ensuring that the erosion and sediment control installation and maintenance requirements for both temporary and permanent measures will be met, including the list of maintenance tasks and performance schedules that have been identified and/or required in the plan sheet(s) and specifications	§302.2.G

Applicant	nt Reviewer				
Check if Provided	Check if Required	Check if Provided	Status	Sewer Construction Submittal Requirements	WMO Reference
				Review Fee = \$	
				Deposits = \$	
General Se	wer Inform	ation			
				Maps, exhibits, and plan sheet(s) specified under the Maps, Exhibit, and Plan Sheets Submittal Checklist	§307.1, §308.1, §308.6
				All District required general notes, approved material and applicable standard qualified sewer construction details	§307.2, §702
				All applicable District details, technical requirements, and design guidelines for qualified sewer construction	§307.3, §702
				Population Equivalency (PE) calculations for expected sewer flows based on new or expanded development	§307.4
				Service area and future service area exhibits along with supporting population calculations	§307.5
				Narrative description of any live sewer connection or live sewer bypass protocol	§307.6
				Characteristic of waste for onsite treatment or pre-treatment of industrial wastes including:	§307.7
				Completed Schedule F	§307.7(A)
				Completed Schedule G	§307.7(A)
				Narrative of wastes being generated, treatment process, and flow loading	§307.7(B)
District Direct Connection Information					
				Completed Schedule O	§307.8(A), §702.2(F)
				All District owned sewers and structures are clearly labeled on the plans	§307.8(B)
				Clearance distances for all proposed excavation within 15 feet of District sewers and structures	§307.8(C)
				Sewer construction notes associated with construction in proximity of District facilities	§307.8(D)
				Required District direct connection detail	§307.8€, §702.2(F)
				Narrative of excavation protocol in proximity to District structure	§307.8(F)
				Shoring calculations certified by a structural engineer for any deep excavation in proximity of District facilities	§307.8(G)
Outfall Connection Details					
				Completed Schedule O	§307.9(A), §702.2(G)
				Proposed outfall location clearly labeled on the plans	§307.9(B)
				District outfall general notes	§307.9(C)
				Construction details for the proposed outfall	§307.9(D)
				Construction details of stormwater quality interceptor	§307.9(E)

Applicant Check if Provided	Check if Required	Reviewer Check if Provided	Status	Stormwater Submittal Requirements	WMO Reference	
				Review Fee = \$		
				Deposits = \$		
General Sto						
~				Maps, exhibits, and plan sheet(s) specified under the Maps, Exhibit, and Plan Sheets Submittal Checklist	§303.1, §308.5	
~				Narrative description of existing site conditions	§303.2(A)	
~				Narrative description of proposed site conditions	§303.2(B)	
~				Narrative description of upstream tributary area	§303.2(C)	
~				Identification of development in combined or separate sewer area	§303.2(B)	
Site Runoff	Requireme	ents				
~				Documentation identifying the procedures, assumptions, and data used to size minor and major stormwater system	§303.2(D)	
~				Documentation identifying the procedures, assumptions, and data used to calculate on-site depressional storage		
				Stage-storage-discharge relationship for onsite depressional storage		
~				Time of concentration calculations for existing and proposed conditions	§303.2(D)	
~				Curve number calculations for existing and proposed site conditions	§303.2(D)	
~				Calculations for sizing storm sewer system	§303.2(D), §502.5	
~				Delineation of tributary areas to minor stormwater system, major stormwater system, and stormwater detention facility	§303.2(D), §502.6	
~				Hydraulic grade line and water surface elevations under both design and base flood conditions	§303.2(D)	
~				Buildings elevated to Flood Protection Elevation (FPE)	§303.2(D), §502.14	
				Calculations for sizing overland flow routes	§303.2(D), §502.6	
				Cross-section data for open channels	§303.2(D)	
				Profile drawings	§303.2(D)	
~				Assumptions or calculations utilized to determine tailwater conditions for the site	§303.2(D)	
Site Volum	Site Volume Control Requirements					
				Narrative description of the utilization of the volume control practice hierarchy	§303.3(D)	
				Existing soils description, including:	§303.3(C)	
				Infiltration rate	§303.3(C)	
				Percentage of clay	§303.3(C)	
				Seasonal groundwater elevation	§303.3(C)	
				Calculation of the proposed impervious area for the development	§303.3(A), §503.2	
				Calculation of required volume control storage for the development	§303.3(A), §503.2	
				Narrative description of the proposed volume control practices	§303.3(D)	
				Calculations quantifying storage provided in proposed volume control practice	§303.3(E), §503.3(A)	
				Calculations quantifying volume control treated by flow-through practices	§303.3(F), §503.3(B)	
				For redevelopments:	§303.3(G), §503.3(C)	
				Demonstration that site limitations prevent the development from providing the entire volume control storage onsite ( if applicable)	§503.3(C)	
				Calculation of the impervious area reduction (if applicable)	§503.3(C)	

Applicant	nt Reviewer				
Check if	Check if	Check if	Status	Stormwater Submittal Requirements	WMO Reference
Provided	Required	Provided			
Site Deten					
				Documentation identifying the procedures, assumptions, and data used to calculate hydrologic and	
				storage volume	§303.4(D)
~				Narrative description of proposed site conditions	§303.2(A)
				Narrative description of upstream tributary area	§303.2(C)
				Identification of development in combined or separate sewer area	§303.2(A)
				Completed Schedule D	
				Site Detention Facility Calculations:	§303.4
				Curve number reduction calculations based on volume control storage provided onsite	§303.2(D), §504.8
				Delineation of unrestricted areas and calculation of 100-year, 24-hour unrestricted release rates	§504.6
				Calculation of allowable release rate, accounting for any existing depressional storage and/or unrestricted releases from the site	§504.2, §504.3, §504.4, §504.5, §504.7
				Elevation versus storage curve and calculations	§303.4(B)
				Elevation versus discharge curve and calculations	§303.4 (C)
				Hydrologic model input/output (for event hydrograph methods, must be TR-20, HEC-1, or HEC-HMS)	§504.9
				CD-ROM containing hydrologic model input/output (for event hydrograph methods, must be TR-20, HEC-1, or HEC-HMS)	§504.9
				Detention nomograph calculation (if applicable)	§504.7
				Delineation of upstream tributary areas and calculation of bypass flow	§504.10
				Calculations demonstrating detention facility overflow structure and overland flow path have sufficient capacity	§303.4(C), §504.11(C)
				Assumptions or calculations utilized to determine tailwater conditions for the site	§303.4(D), §504.13(B)
				For redevelopments tributary to existing detention facility:	
				Verification of existing storage volume	§505.3(A)
				Volume control storage provided	§505.3(A)
				Documentation of SPO Permit for original development	§505.3(B)
				Calculation of proposed runoff coefficent	§505.3(B)
				Modified rational method calculations using Bulletin 70 rainfall depths (if applicable)	§505.3(B)

Applicant	nt Reviewer				
Check if Provided	Check if Required	Check if Provided	Status	Watershed Management Permit Submittal Requirements	WMO Reference
				Review Fee = \$	
				Deposits = \$	
General Re	quirements	3	-	1	
				Completed Watershed Management Permit Application	§301
				The name(s) and legal address(es) of the co-permittee(s), permittee, and of the owner(s) of the land	§301.1
				The common address, PIN(s), and legal description of the site where the development will take place	§301.2
				General narrative description of the proposed development that includes:	§303.3
				Type of development	§303.3.A
				Total parcel or site size	§303.3.B
				Size of area under development	§303.3.C
				Affidavit(s) signed by the co-permittee(s) attesting to:	§301.4
				The understanding of the requirements of and intent to comply with the WMO	
				Disclosure of property interests (Schedule K) stating the aggregate total area of said property and all other lands contiguous to said property in which the owner holds an interest	
				Notice of Requirements for Stormwater Detention (Schedule L) for parcel areas not being developed under a Watershed Management Permit to provide notice that detention requirements will apply to said parcel areas if future development occurs	
				Development plan set signed and sealed by a Professional Engineer	
				Site stormwater plan signed and sealed by a Professional Engineer	§300.2.A
				Topographic information tied to the North American Vertical Datum of 1988 based on national map standard accuracy	§300.3
				The design of stormwater facilities, calculations for the determination of the 100-year floodplain and regulatory floodplain, and calculations of the impact of development shall meet the standards of the WMO and are prepared, signed, and sealed by a Professional Engineer	§300.2.B
				If wetlands are located onsite or within 100 feet of the site, a survey locating the wetland in plan view, including the wetland buffer, is signed and sealed by a Professional Engineer or a Professional Land Surveyor	§300.2.C
				If riparian environments are located onsite or within 100 feet of the site, a survey in plan view of the channel or stream and associated riparian environment is signed and sealed by a Professional Engineer or a Professional Land Surveyor	§300.2.D
				A statement of opinion by either a Professional Engineer or Wetland Specialist either denying or acknowledging the presence of flood protection areas:	§301.5
				Within the area of the development	§301.5.A
				On the site	§301.5.B
				100 feet beyond the area of the development if not included within the site	§301.5.C
				If presence of flood protection areas is identified, appropriate submittals are provided	§301.5.D
				Copies of other permits or permit applications as required, including any NPDES, OWR, Corps, FEMA LOMAs, LOMRs, LOMR-Fs, CLOMAs, and CLOMRs	§301.6
				Erosion and Sediment Control Submittal	§302
				Stormwater Management Submittal	§303
				Floodplain Submittal	§304, §601
				Wetland-Buffer-Riparian Environment Submittal	§305, §306, §603, §606
				Sewer Construction Submittal	§307, §701
				Maps, Exhibits, and Plan Sheets Submittal	§308
				Maintenance and Monitoring Plan Submittal	§310
Applicant Reviewer					
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Check if Provided	Check if Required	Check if Provided	Status	Wetland-Riparian Submittal Requirements	WMO Reference
				Review Fee = \$	
				Deposits = \$	
Wetland D	elineation F	Requirement	s		
				Written Wetland Delineation Report and Jurisdictional Determination Request ("JD") for all wetlands/farmed wetlands/waters on and within 100 feet of development site	§305, §603.2, §603.3
				Onsite Isolated Wetlands are Characterized as "Standard" or "High Quality"	§305, §603.8
				<ul> <li>Offsite Wetland Boundaries have been determined</li> </ul>	§305, §603.5
				> Wetland Buffers Widths have been determined and confirmed	§305, §603.9
				Completed Schedule W	
LONI Requ	irements			Isolated Wetland present, but no proposed wetland impacts, the following apply:	
				Cover letter describing proposed activity	§305
				Wetland and buffer plan view of all onsite and offsite (within 100 feet of site) and supporting information	§305, §308.7.A-C.1-7, §603
	A statement indicating date of boundary verification by the District		§305, §603.5		
	Site Development Plans (e.g., grading, SESC, etc showing wetland boundaries)		Site Development Plans (e.g., grading, SESC, etc showing wetland boundaries)	§305	
				80-150 Wetland Hydrology Analysis	§305
				Corps letter of no objection (if required by District)	§305, §604.2
Corps Juris	dicitonal W	etland Impa	ct	Creates a wetland impact within WOUS? O Yes O No If YES, the following apply:	
				Wetland delineation and wetland determination report as specified	§305, §603.2, §603.3
				Corps permit or letter stating no permit required	§305, §604.2
				Buffer Area requirements as specified	§305, §604.19
Isolated W	etland Impa	act (IWI) < 0.	1 AC	Creates < 0.1 acre IWI? O Yes O No If YES, the following apply:	
				A statement indicating date of boundary verification by the District	§305, §603.5
				A classification of each onsite isolated wetland as either a high quality isolated wetland or a standard isolated wetland, including a narrative detailing the results of the assessment of specific functions and values;	§305, §604.3
				Wetland delineation and wetland determination report as specified	§305, §603.2, §603.3
				Mapping products in accordance with §308.7 of this ordinance	§305, §308.7, §603
				(1) A jurisdictional determination indicating that the impacted wetland is not under the jurisdiction of the Corps; or (2) A Letter of No Objection stating that no permit from the Corps is necessary; or (3) A copy of the Section 404 permit application, all associated correspondence, and a copy of the completed joint application form	§305, §604.5

Applicant	plicant Reviewer		Reviewer			
Check if Provided	Check if Required	Check if Provided	Status	Wetland-Riparian Submittal Requirements	WMO Reference	
Isolated W High Qualit	etland Impa ty Wetland	act (IWI) > 0.	1 AC or	Creates > 0.1 acre IWI or impacts a High Quality Wetland? O Yes O No If YES, the following apply:		
				A narrative describing the location, type, functions, and size of all wetlands and wetland buffers on the site, and a discussion documenting the proposed impact is the least damaging alternative	§305, §604.3, §604.4	
				A statement indicating date of boundary verification by the District or authorized municipality	§305, §603.5	
				A classification of each onsite isolated wetland as either a high quality isolated wetland or a standard isolated wetland, including a narrative detailing the results of the assessment of specific functions and values	§305, §604.3	
				Wetland delineation and wetland determination report as specified	§305, §603.2, §603.3	
				An assessment to determine the Swink and Wilhelm Floristic Quality Index (FQI) and mean coefficient of conservatism (ĉ), carried out within the growing season for all wetlands on the site	§305, §603.8	
				Photos of all wetlands and wetland buffers on the site	§305	
				An Illinois Department of Natural Resources (IDNR) threatened and endangered species consultation	§305	
				A United States Fish and Wildlife Service (USFWS) threatened and endangered species consultation	§305	
				(1) A jurisdictional determination indicating that the impacted wetland is not under the jurisdiction of the Corps; or (2) A Letter of No Objection stating that no permit from the Corps is necessary; or (3) A copy of the Section 404 permit application, all associated correspondence, and a copy of the completed joint application form	§305, §604.5	
				An evaluation of the indirect impacts to isolated wetlands onsite and within 100 feet of the development	§305, §603.5	
				Documentation must be provided that describes how the isolated wetland buffer functions will be mitigated	§305, §603.3	
				Wetland mitigation document	§305, §310.4, §308.7	
				If mitigation is to be provided via a wetland mitigation bank, a statement of obligation from the wetland mitigation bank showing mitigation acreage reserved for the project	§605	
Impacts To	High Quali	ty Wetlands				
				Documentation that the proposed impact is the least damaging alternative to allow for an economic use of the parcel	§305.3(C)	
				Documentation that if the High Quality Wetland were avoided that a hazardous road condition would result	§305.3(C)	
Impacts To	Riparian Er	nvironments				
				A delineation of the riparian environments, with support maps and function inventory	§303.1-3, §308.8, §606.2, §306.4	
				A description of the impact riparian area functions.	§303.4, §606.1	
				If Corps jurisdictional waters are impacted one of the following must be provided: (1) A jurisdictional determination indicating that the impacted waters is not under the jurisdiction of the Corps; or (2) A Letter of No Objection stating that no permit from the Corps is necessary; or (3) A copy of the Section 404 permit application, all associated correspondence, and a copy of the completed joint application form	§303.5, §306.5	
				If a channel impact is proposed, is the length of the post channel project equal to or greater than the pre-project condition	§607.5.D	
				Riparian Mitigation Document	§306.7	

#### **PROJECT NARRATIVE**

#### **INTRODUCTION**

This report summarizes the stormwater management plan for the proposed hotel development located in the Village of Rosemont, Cook County, Illinois. The project site is located at 6810 Mannheim Road as shown on Exhibit 7 under Tab 2. The total contiguous ownership is 8.38 acres and the proposed development will disturb approximately 2.0 acres. The stormwater analysis was performed based on the land plan prepared by the project architect, the topographic survey prepared by SPACECO Inc., in accordance with the requirements of the Watershed Management Ordinance (Ordinance) as adopted by the Metropolitan Water Reclamation District of Greater Chicago on October 3, 2013, and as amended to, and including May 16, 2019.

#### **EXISTING CONDITIONS**

Under existing conditions, the project site is a hotel facility with the associated roadways and utilities. The site is located directly north of Interstate I-90, and on the west side of Mannheim Road. There is no existing detention storage provided on site. A 72" storm sewer traverses north to south on the east side of the site parallel to Mannheim Road.

There is no floodplain based on existing topography and a mapped floodway located on-site as delineated by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel number 0219J, effective August 19, 2008, and included as Exhibit 4 under Tab 2. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

There is no existing on-site depressional storage.

There is no off-site drainage area tributary to the site as shown on the USGS Map included as Exhibit 3 under Tab 2, and on the detailed existing conditions plans included in the Site Improvement Plans, see Title Sheet included as Exhibit 11 under Tab 2.

The project is located in a separate sewer area. The existing site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek, as shown in Exhibit 1 under Tab 2.

There are no existing wetlands/waters of the U.S. located on the site.

#### **PROPOSED CONDITIONS**

#### **General Stormwater Information**

The proposed development will include demolition of two existing buildings, hotel pool and patio area. The redevelopment of the site will include reconfiguring of the parking lot with associated storm sewer improvements, and two new porte-cochere entry ways for the hotel facility. New development area has a footprint of 2.0 Acres.

There is currently no stormwater detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

#### Site Runoff Requirements

The project is located in a separate sewer area, and the site drains to the 72" Village of Rosemont storm sewer and is ultimately tributary to the Willow-Higgins Creek.

The following table is a breakdown of the existing and proposed on-site areas. This is a holistic view and does not distinguish between detained, unrestricted, and native plantings.

Site Condition		Are	eas	
	Pervious Ac.	Impervious Ac.	Total Ac.	% Impervious
Existing	0.49	1.51	2.0	76
Proposed	0.19	1.81	2.0	91

There is no upstream area tributary to the site. There is no depressional storage onsite.

Tab 3 of the report includes detailed calculations for Time of concentration (Tc), Curve Number (CN), and detailed storm sewer calculations.

#### Storm Sewer Design Criteria

Stormwater Studio 2017 v 2.0.0.52 was used to size the storm sewer and determine the Hydraulic Grade Line and water surface elevations. Calculations can be found under Tab 3.

•	Rainfall Return Period:	10-Year – Conveyance in Pipe (HGL Below Rim Grade) 100-Year – Overland Flow		
•	Peak Discharge Method: Computer Software:	Rational Formula, Q=CIA Stormwater Studio		
•	Rainfall Intensity:	Use ISWS Bulletin 75, Table 13 f	for Northeast Zone	
•	Runoff Coefficient:	Impervious area: Pervious area:	C = 0.90 C = 0.45	
		(See Attached Calculation Sh	neet)	
•	Inlet Time:	10 Minutes (minimum)		
•	Pipe Capacity:	Use Manning's equation for full p Use n = 0.013 for RCP.	ipe flow capacity.	

#### Site Volume Control & Detention Storage Requirements

There is currently no stormwater detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

#### STORMWATER MANAGEMENT PERMIT APPLICATION FOR 6810 MANNHEIM RD DEVELOPMENT VILLAGE OF ROSEMONT, COOK COUNTY, IL

PREPARED FOR HOTEL MANNHEIM CHICAGO, LLC

#### PREPARED BY SPACECO, INC. 9575 W. HIGGINS ROAD, SUITE 700 ROSEMONT, IL 60018







PROJECT:	6810 MANNHEIM ROAD DEVELOPMENT	PROJECT #:	8055.04
LOCATION:	ROSEMONT, IL	DATE:	June-20
		LAST REVISED:	

EXHIBIT TITLE: USGS MAP DESCRIPTION: HIGHWOOD QUADRANGLE





PROJECT:6810 MANNHEIM ROAD DEVELOPMENTPROJECT #:8055.04LOCATION:ROSEMONT, ILDATE:June-20LAST REVISED:LAST REVISED:LAST REVISED:

EXHIBIT TITLE: NRCS SOIL MAP DESCRIPTION: URBAN LAND ONLY





PROJECT: LOCATION:

6810 MANNHEIM ROAD DEVELOPMENT ROSEMONT, IL PROJECT #: DATE: LAST REVISED:

8055.04 June-20

EXHIBIT TITLE: FEMA MAP DESCRIPTION: MAP NUMBER 17031C0219J





PROJECT: LOCATION: 6810 MANNHEIM ROAD DEVELOPMENT ROSEMONT, IL PROJECT #: DATE: LAST REVISED:

8055.04

June-20

#### EXHIBIT TITLE: <u>MWRD DEPRESSIONAL AREAS</u> DESCRIPTION: PANEL #0219





PROJECT:	6810 MANNHEIM ROAD DEVELOPMENT	PROJECT #:	8055.04
LOCATION:	ROSEMONT, IL	DATE:	June-20
		LAST REVISED:	

#### EXHIBIT TITLE: NATIONAL WETLAND INVENTORY MAP DESCRIPTION: URBAN LAND ONLY





 PROJECT:
 6810 MANNHEIM ROAD DEVELOPMENT
 PROJECT #:

 LOCATION:
 ROSEMONT, IL
 DATE:

 LAST REVISED:
 LAST REVISED:

PROJECT #: 8055.04 DATE: June-20

EXHIBIT TITLE: <u>AERIAL MAP</u> DESCRIPTION: GOOGLE EARTH





APPENDIX I: WMO PERMIT APPLICATION 20-172 STORMWATER REPORT PAGE I-26

**GREMLEY & BIEDERMANN** A DIVISION OF

**PLCS** Corporation

LICENSE No. 184-005322 PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630

TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

# ALTA / ACSM Land Title Survey

Parcel 1: The South Quarter of the Southeast Quarter of the Northeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, (except that part taken for Mannheim Road and that part conveyed to the Illinois State Toll Highway Commission by deed recorded as document 16738863) and (except that part taken in Case No. 64L21589), in Cook County, Illinois.

Parcel 2: That part of the East Half of the Southeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, lying Westerly of the West line of Mannheim Road and North of the North line of the Illinois Toll Highway drawn from a point in the East line of said Southeast Quarter, 315.2 feet South of the East Quarter corner of said Section 32 to a point in the North line of said East Half of the Southeast Quarter, 844.84 feet measured on the said North line, East of the Northwest corner of said East Half of the Southeast Quarter of said Section 32 (except that part taken in Case No. 64L21263), in Cook County, Illinois.

Parcel 3: Lots 1 to 4, both inclusive, in Block 2 in Oliver Salinger and Company's First Addition to Glen Acres, being a subdivision of the North 3/4 of the Southeast Quarter of the Northeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, in Cook County, Illinois,

Parcel 4: That part of the South Half of Morse Avenue, vacated by document 26239728, lying North of and adjoining Lots 3 and 4 in Block 2 in Oliver Salinger and Company's First Addition to Glen Acres, being a subdivision of the North 3/4 of the Southeast Quarter of the Northeast Quarter of Section 32, Township 41 North, Range 12, East of the Third Principal Meridian, in Cook County, Illinois,

SURVEY NOTES:

PROPERTY ADDRESS: 6810 N. MANNHEIM ROAD, ROSEMONT, ILLINOIS

AREAS: PARCEL 1: 225,553 SQ.FT OR 5.18 ACRES PARCEL 2: 59,778 SQ.FT, OR 1.37 ACRES PARCEL 3: 73,312 SQ.FT. OR 1.68 ACRES PARCEL 4: 6,600 SQ.FT. OR 0.15 ACRES TOTAL PROPERTY AREA: 365,243 SQ.FT. OR 8.38 ACRES

TOTAL BUILDING FOOTPRINT AREA=97,685 SQ.FT NORTH BUILDING AREA=4,718 SQ.FT. SOUTH BUILDING AREA=92,967 SQ.FT

ITEMS LISTED IN SCHEDULE B OF CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO: 1401 008489038 D1

ITEMS 1 - 7, 28, 32, 33, 40 AND 41 ARE NOT A MATTERS OF SURVEY.

ITEM H 27. RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR ROAD PURPOSES AND LYING WITHIN MORSE AVENUE AS SHOWN ON PLAT OF SURVEY MADE BY GREMLEY AND BIEDERMANN, INC., NUMBER 2004-01133-001, DATED JUNE 11, 2004 AND LAST REVISED MARCH 30, 2005. SHOWN ON SURVEY.

ITEM J 29. RESTRICTIONS AND CONDITIONS CONTAINED IN PLAT OF SAID SUBDIVISION RECORDED AUGUST 22, 1940 AS DOCUMENT 12534397 RELATING TO THE USE, SIZE, CONSTRUCTION, OCCUPATION AND LOCATION OF BUILDINGS TO BE ERECTED ON PREMISES; RELATING TO THE PITCH OF ROOFS, TO THE ERECTION OF AUXILIARY BUILDINGS, TO THE PAINTING OF EXTERIOR WALLS AND FENCES, PROVIDING FOR THE KIND OF MATERIALS TO BE USED IN THE FOUNDATIONS, CHIMNEYS, WALLS AND ROOFS OF BUILDINGS TO BE ERECTED ON SAID PREMISES, PROHIBITING THE ERECTION OF OUTHOUSE TOILETS AND PROVIDING FOR THE INSTALLATION OF SEPTIC TANKS AND GREASE TRAPS AND TO THE LOCATION THEREOF: PROVIDING FOR THE DRILLING OF WELLS AND THE LOCATION THEREOF AND PROVIDING THAT WELLS AND WASTE DISPOSAL SYSTEMS SHALL BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE STATE DEPARTMENT OF PUBLIC HEALTH AND AS AMENDED AND MODIFIED BY AGREEMENT DATED MARCH 24, 1941 AS DOCUMENT 12649232 SETTING FORTH THAT NO BUILDING SHALL BE LOCATED OR ERECTED ON ANY LOT OR BUILDING PLOT NEARER THAN 47 FEET FROM THE FRONT LOT LINE. NOTE: SAID INSTRUMENT CONTAINS NO PROVISION FOR A FORFEITURE OF OR REVERSION OF TITLE IN CASE OF BREACH OF CONDITION (AFFECTS PARCEL 3)

ITEM K 30. GRANT OF EASEMENT FROM CHICAGO TITLE AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED MAY 29, 1958 AND KNOWN AS TRUST NUMBER 40186 TO CENTRAL TELEPHONE COMPANY OF ILLINOIS DATED MAY 21, 1970 AND RECORDED JUNE 3, 1970 AS DOCUMENT 21173574 TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE FROM TIME TO TIME, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, SOUNDS AND SIGNALS, TOGETHER WITH RIGHT OF ACCESS TO SAME AND RIGHT FROM TIME TO TIME ) REMOVE TREES, BUSHES, ETC., AS MAY BE REASONABLY REQUIRED INCIDENT TO THE GRANT GIVEN IN. OVER, UNDER, ACROSS, ALONI AND UPON THE LAND. (AFFECTS PARCEL 3) PLOTTED.

ITEM L 31. GRANT OF EASEMENT FROM CHICAGO TITLE AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED MAY 29, 1958 AND KNOWN AS TRUST NUMBER 40186 TO THE COMMONWEALTH EDISON COMPANY DATED MAY 21, 1970 AND RECORDED MAY 26, 1970 AS DOCUMENT 21167375 TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE FROM TIME TO TIME POLIES, WIRES, CABLES CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY TOGETHER WITH RIGHT OF ACCESS TO SAME AND RIGHT TO REMOVE TREES. ETC. REQUIRED INCIDENT TO SAID GRANT GIVEN ON, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY DESCRIBED AS FOLLOWS: STRIPS OF LAND 10 FEET WIDE AS SHOWN ON SHADED AREA MARKED 'EXHIBIT A' OVER LOT 2 IN BLOCK 2 IN OLIVER SALINGER AND CO'S 1ST ADDITION TO GLEN ACRES A SUBDIVISION IN THE NORTH 1/4 OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. (AFFECTS LOT 2 OF PARCEL 3) PLOTTED.

ITEM 0 34. UNRECORDED EASEMENT IN FAVOR OF COMMONWEALTH EDISON COMPANY AS DISCLOSED BY THE ELECTRIC SERVICE STATION AGREEMENT MADE BY AND BETWEEN COMMONWEALTH EDISON COMPANY AND O'HARE INN AND HENRICI REST AS EVIDENCED IN THE UTILITY LETTER DATED JANUARY 13, 1998 BY ROBERT D. SLAVIK, DPM-FIELD AGENT FOR THE COMMONWEALTH EDISON COMPANY.

ITEM P 35. UNRECORDED EASEMENT IN FAVOR OF NORTHERN ILLINOIS GAS COMPANY AS EVIDENCED IN THE UTILITY LETTER DATED JANUARY 28, 1998 BY EDWARD G. 'ROURKE, GENERAL REAL ESTATE AGENT, NORTHERN ILLINOIS GAS COMPANY.

ITEM Q 36. RIGHTS OF THE PUBLIC IN AND TO THE CONCRETE PATH LOCATED ALONG THE SOUTHEASTERLY TIP OF PARCEL 2 AND ONTO THE LAND SOUTH AND ADJOINING BY AN UNDISCLOSED AMOUNT AS AS DEPICTED ON SURVEY MADE BY GREMLEY & BIEDERMANN, INC., DATED JUNE 11, 2004 AS ORDER NUMBER 2004-01133-001, SHOWN ON SURVEY.

ITEM R 37. UNRECORDED EASEMENTS IN FAVOR OF PUBLIC AND, OR QUASI-PUBLIC UTILITY COMPANIES OVER THAT PART OF THE LAND MARKED WITH MANHOLES, BASINS, POLES, VALVES AND VAULTS, TRANSFORMER PAD, HYDRANTS, AERIAL WIRES, AS DISCLOSED BY THE PLAT OF SURVEY MADE BY GREMLEY & BIEDERMANN DATED JUNE 11, 2004 AS ORDER NUMBER 2004-01133-001. SHOWN ON SURVEY. ITEM S 38. ENCROACHMENT OF THE PARKING SPACES OVER AND ONTO THE EASEMENTS RECORDED AS DOCUMENT 21173574 AND AS

DOCUMENT 21167375 ENCROACHMENT OF THE CONCRETE CURBS OVER AND ONTO SAID EASEMENTS AS DISCLOSED BY THE PLAT OF SURVEY MADE BY GREMLEY & BIEDERMANN, DATED JUNE 11, 2004 AS ORDER NUMBER 2004-01133-001. SHOWN ON SURVEY.

ITEM AC 39. ENCROACHMENT OF THE GUARD RAIL LOCATED MAINLY ON THE LAND ONTO THE PROPERTY NORTH AND ADJOINING BY VARYING DISTANCES, AS SHOWN THE PLAT OF SURVEY MADE BY GREMLEY AND BIEDERMANN, INC., NUMBER 2004-01133-001, DATED JUNE 11, 2004 AND LAST REVISED MARCH 30, 2005. SHOWN ON SURVEY.

#### State of Illinois) County of Cook)ss

This is to certify to MEHP O'Hare Ownership LLC, Wi-Fi O'Hare, LLC and Chicago Title Insurance Company that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes Items 1, 2, 3, 4, 7A, 8, 9, 10 and 11A of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Illinois, the Relative Positional Accuracy of this survey does not exceed that which is specified therein. This Survey was prepared based on Chicago Title insurance Company Title Commitment No: 1401 008489038 D1 Effective Date: MARCH 4, 2011 as to matters of record.

Field measurements completed on APRIL 19, 2011.

ori 20,20



Professional Illinois Land Surveyor # 2802 My license expires November 30, 2012.



	CITY OF DES PLAINSE BENCHMARK # 76 ELEVATION = 638.255
	LOCATION: MONUMENT SET IN CONCRETE AT N.E. CORNER OF PRATT AVE AND MANNHEIM RD. 12' NORTH OF E/P OF PRATT AND 18' EAST OF E/P OF MANNHEIM
	VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
1	















# SITE IMPROVEMENT PLANS for 6810 MANNHEIM ROAD DEVELOPMENT **VILLAGE OF ROSEMONT COOK COUNTY, ILLINOIS PROJECT NO:8055.04**

## DEVELOPER

HOTEL MANNHEIM CHICAGO, LLC 916 W. 21ST STREET CHICAGO, IL 60608 PH: 978-930-8657 CONTACT: JOHN LI





#### STORMWATER MANAGEMENT PERMIT APPLICATION FOR 6810 MANNHEIM RD DEVELOPMENT VILLAGE OF ROSEMONT, COOK COUNTY, IL

PREPARED FOR HOTEL MANNHEIM CHICAGO, LLC

#### PREPARED BY SPACECO, INC. 9575 W. HIGGINS ROAD, SUITE 700 ROSEMONT, IL 60018





PROJECT:	6810 MANNHEIM ROAD DEVELOPMENT	PROJEC
LOCATION:	ROSEMONT, IL	DA

T #: ATE:

8055.04 June-20

LAST REVISED:

#### CALCULATION TITLE: CURVE NUMBER CALCULATION

DESCRIPTION: DISTURBED AREAS

SITE CONDITION: EXISTING

Soil Name and Hydrologic Group (Appendix A)	Cover De (Cover Type, T hydrologic percent In unconnected impervious	escription reatment, and conditions; npervious; d/connected s area ratio	Curve Number Table 5-7	Area X Acres Sq. M. %	Product of Curve Number and Area
ſ			98	1 49	146.02
<u>с</u>	PERVIOUS		74	0.51	37.74
C	GRAVEL		89		
C	WATER SURFAC	CE	100		
С	NEWLY GRADE	D AREAS	91		
С	NATIVE PLANTI	NGS	70		
С	WETLANDS		91		
С	GREEN INFRAS	TRUCTURE			
С	NON-COMPA	CTED GRAVEL	91		
С	POROUS/PER	MIABLE PAVEM'T	91		
С	BIOSWALE		63		
С	RAIN GARDEN	١	63		
			TOTALS =	2.00	184
				0.0031 sq. mi	J
	CN (weighted) =	Total Product Total Area	= 183.76 2.00	- = 91.88	
Redu	Total Pervious Total Impervious % Impervious ction from Existing	0.51 1.49 74.5% #REF!	USE CN	= 92	]
Redu	ction from Existing	#KEF!			

ONSULTING ENGIN TE DEVELOPMENT AND SURVEYORS	NEERS	9575	W. Higgins Road, Suite 70 Phone: (847) 696-4	00, Rosemont, Illi 1060 Fax: (847)	nois 60018 696-4065
PROJE	CT:	6810 MANNHEIM ROAD DEVELOPM	ENT	PROJECT #:	8055.04
LOCATI	ON:	MARKHAM, ILLINOIS		DATE:	June-20
				LAST REVISED:	
CAI		TION TITLE: TIME OF CONCENTRAL			
CAI	D	ESCRIPTION: TRIBUTARY TO STORM SI	EWER		
	SITE	CONDITION: EXISTING			
SHEE	T FLOW		SEGMENT ID	1	
1.	SUFAG	CE DESCRIPTION (TABLE 3-1)			
2.	MAN	NING'S ROUGHNESS COEFF., n (TABLE 3-1)			
3.	FLOW	LENGTH, L (TOTAL <= 100 FT)			
4.	TWO-	YR 24-HR RAINFALL, P2			
5.	LAND	SLOPE, S			
6.	T <sub>t</sub> =	<u>0.007 (nL)<sup>0.0</sup></u>			HR
		$P_2^{0.3} S^{0.4}$			
CUAL				-	MIN
<u>SHAL</u>		DINCENTRATED FLOW	SEGIVIENTID	Z	
7.	SUFAU	LE DESCRIPTION (TABLE 3-1)			ст
ō. 0					
9.					
10.	AVERA	AGE VELOCITY (FIGURE 3-1)			F1/5
11.	T <sub>t</sub> =	L			HR
		5600 V			MIN
CHAN	INEL FL	ow	SEGMENT ID	3	
<u></u> 12.	CROS	SECTIONAL FLOW AREA		-	S.F.
13.	WETT	ED PERIMETER, P <sub>M</sub>			FT
14.	HYDR	AULIC RADIUS, $r = a/P_{M}$			
15.	CHAN	NEL SLOPE, s			FT/FT
16.	MAN	, NINGS ROUGHNESS COEFF., n			-
17.		1.49 r <sup>2/3</sup> s <sup>1/2</sup>			
	V =	n			FT/S
18.	FLOW	LENGTH, L			FT
19.	T <sub>t</sub> =	L			HR
		3600 V			MIN
20.	WATE	RSHED OR SUBAREA TC OR Tt TOTAL		HR	#VALUE!
				MIN	#VALUE!
			I	NDUSTIRAL USE 1	.0 MIN

APPENDIX I: WMO PERMIT APPLICATION 20-172 STORMWATER REPORT PAGE I-33



8055.04

June-20

PROJECT:	6810 MANNHEIM ROAD DEVELOPMENT	PROJECT #:
LOCATION:	ROSEMONT, IL	DATE:
		LAST REVISED:

#### CALCULATION TITLE: CURVE NUMBER CALCULATION

DESCRIPTION: DISTURBED AREAS

SITE CONDITION: PROPOSED

Soil Name and Hydrologic Group (Appendix A)	Cover De (Cover Type, T hydrologic percent In unconnected impervious	escription reatment, and conditions; npervious; d/connected s area ratio	Curve Number Table 5-7	Area X Acres Sq. M. %	Product of Curve Number and Area
C			0.9	1.01	177.20
<u> </u>			98	0.10	1/7.38
			74 80	0.19	14.00
C		^F	100		
<u> </u>		D ARFAS	91		
<u> </u>	NATIVE PLANTI	NGS	70		
<u>с</u>	WETLANDS	1105	91		
C	GREEN INFRAS	TRUCTURE			
C	NON-COMPA	CTED GRAVEL	91		
C	POROUS/PER	MIABLE PAVEM'T	91		
С	BIOSWALE		63		
С	RAIN GARDEN	J	63		
			TOTALS	= 2.00	191
				0.0031 sq. mi	
	CN (weighted) =	Total Product Total Area 0.19	= 191.44 2.00	- = 95.72	
Redu	Total Impervious % Impervious ction from Existing	1.81 90.5% #REF!	USE CN	= 96	]

CONSULTING ENGIN SITE DEVELOPMENT LAND SURVEYORS	AEERS	9575	W. Higgins Road, Suite 7( Phone: (847) 696-4	00, Rosemont, Illi 1060 Fax: (847)	nois 60018 696-4065
PROJE	CT:	6810 MANNHEIM ROAD DEVELOPME	NT	PROJECT #:	8055.04
LOCATI	ON:	MARKHAM, ILLINOIS		DATE:	June-20
				LAST REVISED:	
_	_				
CAI		TION TITLE: TIME OF CONCENTRAT			
	D	ESCRIPTION: TRIBUTARY TO STORM SE	WER		
	SILE	CONDITION: PROPOSED			
SHEE			SEGMENT ID	1	
1	SLIFA	TE DESCRIPTION (TABLE 3-1)	SEGMENTID	-	
2	MAN	NING'S ROUGHNESS COFFE n (TABLE 3-1)			
2. 3	FLOW	$ FNGTH    (TOTAL \leq 100  FT)$			
З. Д					
ч. 5		SLODE S			
5.		$(0.007 (n))^{0.8}$			
6.	T <sub>t</sub> =	$\frac{0.007 (112)}{0.5 c^{0.4}}$			HR
		$P_2$ S			NAINI
CUAL				-	MIN
<u>SHAL</u>		DICENTRATED FLOW	SEGMENTID	2	
7.	SUFAG	LE DESCRIPTION (TABLE 3-1)			<b>FT</b>
8.	FLOW	LENGIH, L			
9.	LAND	SLOPE, S			
10.	AVER	AGE VELOCITY (FIGURE 3-1)			FT/S
11.	T, =	L			HR
		3600 V			
					MIN
<u>CHAN</u>	INEL FL		SEGMENT ID	3	
12.	CROS	SECTIONAL FLOW AREA			S.F.
13.	WETT	ED PERIMETER, P <sub>W</sub>			Εľ
14.	HYDR.	AULIC RADIUS, $r = a/P_W$			/
15.	CHAN	NEL SLOPE, s			FT/FT
16.	MAN	VINGS ROUGHNESS COEFF., n			
17.	V =	1.49 r <sup>2/3</sup> s <sup>1/2</sup>			FT/S
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Project Name: Enter Project Name...

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	HGL Elev	Dn	(#)	635.86	636.38	636.66	637.03	
		ďŋ	(#)	635.98	636.55	636.89	637.05	
	Invert Elev	Ы	(#)	634.85	634.96	632.02	635.70	
		4	(#)	634.96	635.35	632.37	636.40	
	Line	Slope	(%)	0.40	0.41	0.45	1.37	
		Size	(in)	15	15	12	12	
	(ff's) Velocity		4.48	2.70	2.93	2.01		
	رې Capacity		4.82	4.86	2.82	4.92		
	Grai Q		4.77	3.29	2.30	1.28		
	(in/hr) Intensity		6.55	6.65	6.74	6.78		
	2	Syst	(min)	10,87	10.49	10.16	10.00	
		Inlet	(min)	10.0	10.0	10.0	10.0	
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ion	َنَ Rational		(C)	06'0	06.0	06.0	06.0	urn Peric
ulat	g Area	Total	(ac)	0.810	0.550	0.380	0.210	) idf, Ret
Tab	Drn	lncr	(ac)	0.260	0.170	0.170	0.210	ied-2020
/er 3.0.0.21	ųµβuəη ⋣		28,00	97.00	78.00	51.00	70Modif	
Storm Sew Stormwater Studio 2020 v	D Line		EXMH-CB100	CB100-CB102	CB102-CB104	CB104-I106	Notes: IDF File = BULL	

#### STORMWATER MANAGEMENT PERMIT APPLICATION FOR 6810 MANNHEIM RD DEVELOPMENT VILLAGE OF ROSEMONT, COOK COUNTY, IL

PREPARED FOR HOTEL MANNHEIM CHICAGO, LLC

#### PREPARED BY SPACECO, INC. 9575 W. HIGGINS ROAD, SUITE 700 ROSEMONT, IL 60018



There is currently no stormwater detention provided on the site. The MWRD ordinance has requirements for detention and retention on site disturbing more than 0.5 acres of land. The developer is requesting relief from the MWRD requirements and no detention or retention is proposed.

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#### Schedule and Description of Maintenance for the Sediment and Erosion Control Plan

Construction will commence with the installation of silt fence that will act as a filter between the site construction and the adjacent properties, followed by installation of additional erosion control measures to be designed as part of the construction documents. Erosion control measures will remain in place and will be maintained until the site has been stabilized at which time they will be removed.

The erosion control measures shall be installed prior to initial land disturbance activities or as soon as practical. Specific measures will be included in the construction documents.

Except when prevented by inclement weather conditions, all disturbed areas to remain inactive for more than 14 days will be stabilized by seeding, sodding, mulching, covering, or equivalent erosion control measures, within seven days.

Permanent soil stabilization shall be provided for all disturbed areas within seven days after final grade is established.

All temporary erosion and sediment control practices shall be removed and disposed of within thirty days after final site stabilization is achieved or after the temporary practices are no longer necessary. Trapped sediment shall be permanently stabilized to prevent further erosion.

See Schedule P for detailed information on Erosion Control.

SC SC	CH DIL	EDULE P EROSION AND SED	IMENT CONTROL	MO Permit Number:							
NAME OF PROJECT: 6810 Mannheim Road Development											
1.	PR	OJECT INFORMATION:									
	A.	Project Area (include all distur	bed area)		acres						
	B.	Stormwater discharges direct	y to:								
		Combined Sewer									
		Overland Flow Route									
		$\Box$ Waters of the State $\rightarrow$	Name of water body:								
		$\Box$ Other $\rightarrow$	Explain:								
	C.	Indicate if any of the followin Volume Control Facility	g special circumstances apply	y (check all that apply):							
		🗌 Floodplain / Floodway	🔲 Riparian Environment	Tributary to Lake Michigan							
	D.	Explain how special circumst	ances indicated in Item 1.C w	ill be protected from erosion and sed	imentation:						
		N/A									
2.	SO ind mu	SOIL EROSION AND SEDIMENT CONTROL PRACTICES: Submit a soil erosion and sediment control ndicating type, location, and detail for all practices. Include a sequence for all major construction activities. All practices used to be constructed in accordance with the Illinois Urban Manual.									
	A.	Indicate all temporary soil ero	osion and sediment control pr	actices installed as part of the projec	t:						
		Entrance / Exit Control	Vegetative Control	Filtration for Dewatering							
		Concrete Washout	Matting / Mulching	Conveyance Channel							
		Silt Fence		Velocity Dissipation							
		Double-Row Silt Fence	Sediment Trap	Cofferdam / Silt Curtain							
		Inlet Control	Sediment Basin								
		Other:									
		Other:									
	В.	Indicate all permanent soil er Vegetative Control	osion control practices install Uelocity Dissipation	ed as part of the project:							
		Other:									
		Other:									

#### STORMWATER MANAGEMENT PERMIT APPLICATION FOR 6810 MANNHEIM RD DEVELOPMENT VILLAGE OF ROSEMONT, COOK COUNTY, IL

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There is no floodplain located on the project site, as shown on the FIRM map, Tab 2, Exhibit 4; therefore, this tab is not applicable.

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There are no wetlands located on the project site, as shown on the National Wetland Inventory Map (Tab 2, Exhibit 6). Therefore, this tab is not applicable.

# **TAB 9**

## STORMWATER MANAGEMENT PERMIT APPLICATION FOR 6810 MANNHEIM RD DEVELOPMENT VILLAGE OF ROSEMONT, COOK COUNTY, IL

PREPARED FOR HOTEL MANNHEIM CHICAGO, LLC

## PREPARED BY SPACECO, INC. 9575 W. HIGGINS ROAD, SUITE 700 ROSEMONT, IL 60018

SPACECO PROJECT # 8055.04



There is no riparian area located on the project site; therefore, this tab is not applicable.

# **TAB 10**

## STORMWATER MANAGEMENT PERMIT APPLICATION FOR 6810 MANNHEIM RD DEVELOPMENT VILLAGE OF ROSEMONT, COOK COUNTY, IL

PREPARED FOR HOTEL MANNHEIM CHICAGO, LLC

## PREPARED BY SPACECO, INC. 9575 W. HIGGINS ROAD, SUITE 700 ROSEMONT, IL 60018

SPACECO PROJECT # 8055.04



## Maintenance & Monitoring Requirements

## **Temporary Soil Erosion & Sediment Control**

#### 1. Soil Erosion and Sediment Control

The contractor will maintain all erosion control measures for the duration of the construction activity. Erosion control measures for the proposed development are included in the plan set. At the completion of construction, the contractor will coordinate the transfer of maintenance responsibilities. Maintenance activities will be performed in accordance with the Illinois Environmental Protection Agency Standards and Specifications for Soil Erosion and Sediment control, 1987.

Except as prevented by inclement weather conditions, all disturbed areas to remain active for more than 14 days will be stabilized by seeding, sodding, mulching, covering, or by other equivalent erosion control measures within seven days. Permanent soil stabilization shall be provided within seven days after final grading is completed.

All temporary erosion and sediment control practices will be removed and disposed of within thirty days after final stabilization is achieved or after the temporary practices are no longer needed.

### Permanent

#### 1. <u>General</u>

Regular inspections and routine maintenance of general areas shall be performed on a monthly or as-needed basis. Specific items of concern include:

- \_\_\_\_\_ Litter and debris shall be controlled
- \_\_\_\_\_ Landscaped areas shall be maintained with regular mowing and restored with appropriate seeding/vegetation as necessary
- Accumulated sediment shall be disposed of properly, along with any wastes generated during maintenance operations
- \_\_\_\_\_ Roads shall be swept, vacuumed and/or washed on a regular basis

#### 2. Stormwater Collection System

The Owner shall perform monthly inspections of all components of the stormwater collection system. The monthly inspections shall occur between March and November and include the following specific areas of concern:

Storm Inlets/Manholes

- \_\_\_\_\_ Remove accumulated leaved and other debris from grates
- \_\_\_\_\_ Reset covers/lids on as-needed basis
- \_\_\_\_\_ Remove accumulated sediment from bottom of manhole when 50% of sump is filled

Storm Sewers/Culverts

- \_\_\_\_\_ Visually inspect pipes by removing manhole lids, make repairs as necessary
- \_\_\_\_\_ Storm sewers and culvers shall be checked for siltation deposits at inlets, outlets, and within the conduit, clean out as necessary
- \_\_\_\_\_ Restore riprap at outfalls if erosion observed
- \_\_\_\_\_ Restore riprap at outfalls
- \_\_\_\_\_ Replant and reseed any eroded areas

Overland Flow Routes (Ditches/Swales)

Annual visual inspections shall be performed that verify the design capacity of the overland flow routes is maintained. The slope and cross-sectional area of the ditch/swale shall be verified during this inspection

- Remove any obstruction that have been placed in the drainage path
- \_\_\_\_\_ Seed and sod any eroded areas
- \_\_\_\_\_ Regrade to provide positive drainage as necessary (A Professional Land Surveyor may be required to check grades to ensure positive drainage)
- \_\_\_\_\_ Regular mowing to control vegetation

#### 3. Vegetated Areas

- Need for planting, reseeding, or sodding. Supplement alternative native vegetation if a significant portion has not established (50% of the surface area after second growing season). Reseed with alternative native grass species if original grass cover has not successfully established
- \_\_\_\_\_ Evidence of grazing, motorbiked, or other vehicles, repair
- \_\_\_\_\_ Check for invasive vegetation, remove when possible
- \_\_\_\_\_ Regular mowing to control vegetation it is recommended that native vegetation remain uncut
- \_\_\_\_\_ Dead or damaged non-native grassy areas \_ repair with seeding with fertilization or seeding with mulch

#### 4. **Qualified Sewer Construction**

- \_\_\_\_\_ Perform manhole inspections once every five years, make repairs as necessary
- \_\_\_\_\_ Perform sewer inspection once every five years, make repairs as necessary
- Perform regular sewer cleaning so that every sewer segment is cleaned once every five years
- \_\_\_\_\_ Remove any construction places in maintenance easements that may impede maintenance equipment access.